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BOROUGH OF MOUNT MAUNGANUI

(The Drainage and Plumbing Regulations, 1959)

pt. 677/666

Application for Permit for Sanitary Plumbing and Drainage Work (Including Stormwater)

To the Health Inspector,

Date 5. 11. 74

I hereby apply for permission to have the work described herein and set out on the back hereof carried out as follows:—

PLUMBER Name: _____ Phone No. _____ Postal _____ Address: _____	Name of Person for whom work is to be carried out: OWNER Name: GRIGG Phone No. _____ Postal _____ Address: _____
DRAINLAYER Name: M. H. Bell-Son Phone No. _____ Postal _____ Address: Hewletts Rd.	LOCATION Assessment No. _____ Lots. No. _____ D.P. _____ House No. Links Ave Road Street Avenue

hereby apply for permission to carry out the work described herein and set out in the plans attached hereto,

SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT:										
	W.C.'s	BATHS	SHOWER	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOT & COLD WATER SERVICES
INSTAL										
RENEW										
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT:

Tick where applicable.

- Construct new drain together with septic tank and effluent disposal system.
- Construct new drain and connect to sewer or other approved outfall.
- Extend drain.
- Repair drain.

Estimated Value \$ Fee Enclosed

The fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES

	Estimated Value of Work				Fee Payable
Not exceeding	\$100				\$1.50
Exceeding	\$100	but not exceeding	\$200		\$3.00
"	\$200	"	"	\$400	\$6.00
"	\$400	"	"	\$600	\$8.00
"	\$600	"	"	\$800	\$10.00
"	\$800	"	"	\$1,000	\$12.00
"	\$1,000				\$12.00

Plus \$1 for every \$200 or part thereof in excess of \$1,000.

(For Office Record Only)

Application Approved Inspector 19

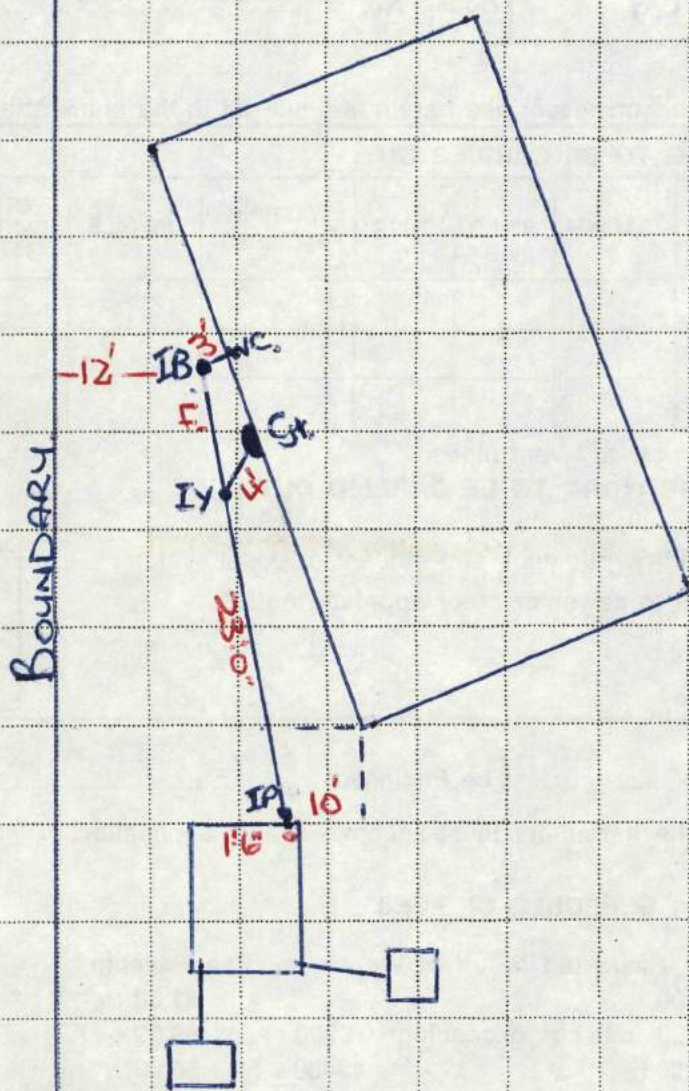
Work Inspected and Passed Inspector 19

Permit No. Receipt No.

Road Boundary

Scale 1/2" - 2ft.

115. *Leick*
Almon W. B. to
Genl. Nelson.



BUILDING APPLICATION FORM

Date 10 - SEPT 19 74To the Borough Inspector,
SIR,

I hereby apply for permission to carry out Building Work as described hereunder:

at for Brian Ross BRILL
(Owner)
of 97 LINKS AV. MT. MAUNGANUI according to locality plan,
and detailed plans, elevations, cross sections and specifications of building deposited herewith, in
duplicate.

Particulars of Land: Lot No. 51 D.P. 517273Town Section Val. Roll No. 677/666

Length of Boundaries Area

Type of Building and Description of Work

Timber terrace

Particulars of: Foundations Walls

Roof

Area of Ground Floor sq. feet. Area of Outbuildings sq. feet.

Proposed purpose for which every part of Building is to be Used or Occupied

Nature of ground on which building is to be placed and of the subjacent strata

Estimated Value of completed:

Building \$ 150 : 00

Plumbing & Drainage \$:

TOTAL \$:

IF VALUED AT \$20,000 Estimated Date of Commencement: Month Year

OR MORE Estimated Date of Completion: Month Year

Builder owner Yours faithfully,Address 18 Ulster St
Mt Maun. (Owner)

OFFICE USE ONLY

PERMIT FEE:

		REC. No.'s
Building	\$ <u>1.00</u>	<u>6190</u>
Plumbing	\$	
Drainage	\$	
Building Research Levy	\$	
Water Connection	\$	
Kerb Crossing Deposit	\$	
Vehicular Crossing	\$	
TOTAL	\$	

Building Permit No. 53284

Plumbing Permit No.

Drainage Permit No.

Permit Authorised W. WhiteDate 10.9.74

BUILDING PERMIT FEES

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable.

Estimated Value of Work				Fees
				\$ c
Not exceeding \$20				.50
Over \$20 and not exceeding \$200				1.00
\$200		\$400		2.00
\$400		\$600		3.00
\$600		\$800		4.00
\$800		\$1,000		5.00
\$1,000		\$1,200		6.00
\$1,200		\$1,400		7.00
\$1,400		\$1,600		8.00
\$1,600		\$1,800		9.00
\$1,800		\$2,000		10.00
\$2,000		\$2,500		12.00
\$2,500		\$3,000		14.00
\$3,000		\$3,500		16.00
\$3,500		\$4,000		18.00
\$4,000		\$5,000		21.00
\$5,000		\$6,000		24.00
\$6,000		\$7,000		27.00
\$7,000		\$8,000		30.00
\$8,000		\$9,000		33.00
\$9,000		\$10,000		36.00
\$10,000		\$12,000		40.00
\$12,000		\$14,000		44.00
\$14,000		\$16,000		48.00
\$16,000		\$18,000		52.00
\$18,000		\$20,000		56.00
\$20,000		\$25,000		64.00
\$25,000		\$30,000		72.00
\$30,000		\$35,000		80.00
\$35,000		\$40,000		88.00
\$40,000		\$50,000		98.00
\$50,000		\$60,000		108.00
\$60,000		\$70,000		118.00
\$70,000		\$80,000		128.00
\$80,000		\$90,000		138.00
\$90,000		\$100,000		148.00
\$100,000		\$120,000		158.00
\$120,000		\$140,000		168.00
\$140,000		\$160,000		178.00
\$160,000		\$180,000		188.00
\$180,000		\$200,000		198.00
\$200,000		\$240,000		210.00
\$240,000		\$280,000		220.00

For every \$40,000 or part thereof in excess of \$280,000, an additional fee of \$10.

In any dispute the Engineer shall have the absolute determination of the value of such work.

A building research levy is payable at the rate of 50 cents per 1000 dollars on all buildings valued \$3,000 or more.

PLANS AND SPECIFICATIONS

Together with this application, there should be submitted to the Engineer **in duplicate** detailed plans, elevations, cross sections and specifications, which shall together furnish complete details of design and qualities and description of all material of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking.

SPECIFICATIONS FOR BUILDING PERMIT

Name Brian Ross Brink

The matters set out herein do not purport to comprise the provisions of a contract.

FOUNDATIONS

Depth and Width of Footings PILES 2" GRAD PILE ANGLE
Thickness of Foundation Walls TOP BRACKETS SET IN
Height of Foundation Walls CONC
Type and Spacing of Under Floor Ventilators 3FT SPACED OUT FROM HOUSE
Depth and Thickness of Chimney Footings 5FT BETWEEN CENTRES
Type of Damp Proof Course WIDTH SPACING
Foundation Blocks JOISTS BOLTED TO PILES
Height from Floor to Ceiling TIMBER PLATE 4"x2" BOLTED TO
HOUSE FLOOR JOISTS

SCHEDULE OF TIMBER	Size of Timber	Type of Timber	Spacing of Joists, Studs, Rafters, Purlins
Bottom Plates			
Sleeper Plates			
Jack Studs			
Floor Joists	4"x3"	TREATED PINE	
Flooring	4"x1 1/2"	" "	
Studs			
Wall Bracing			
Dwangs			
Top Plates			
Ceiling Joists			
Runners over Ceiling Joists			
Roof Struts			
Collar Ties			
Exterior Sheathing			
Internal Lining			
Architraves			
Door and Window Facings			
Door (Height and Width)			
Trimmers over Doors and Windows			
Rafters			
Purlins			
Ridge, Hip and Valley Boards			
Roofing			

Distance from Boundaries Front Back Side

Windows — Percentage of Floor Area

Drainage

Spouting

Provision for Storage of Food

STUCCO ON TIMBER FRAME

Type of Backing Mixture of Stucco

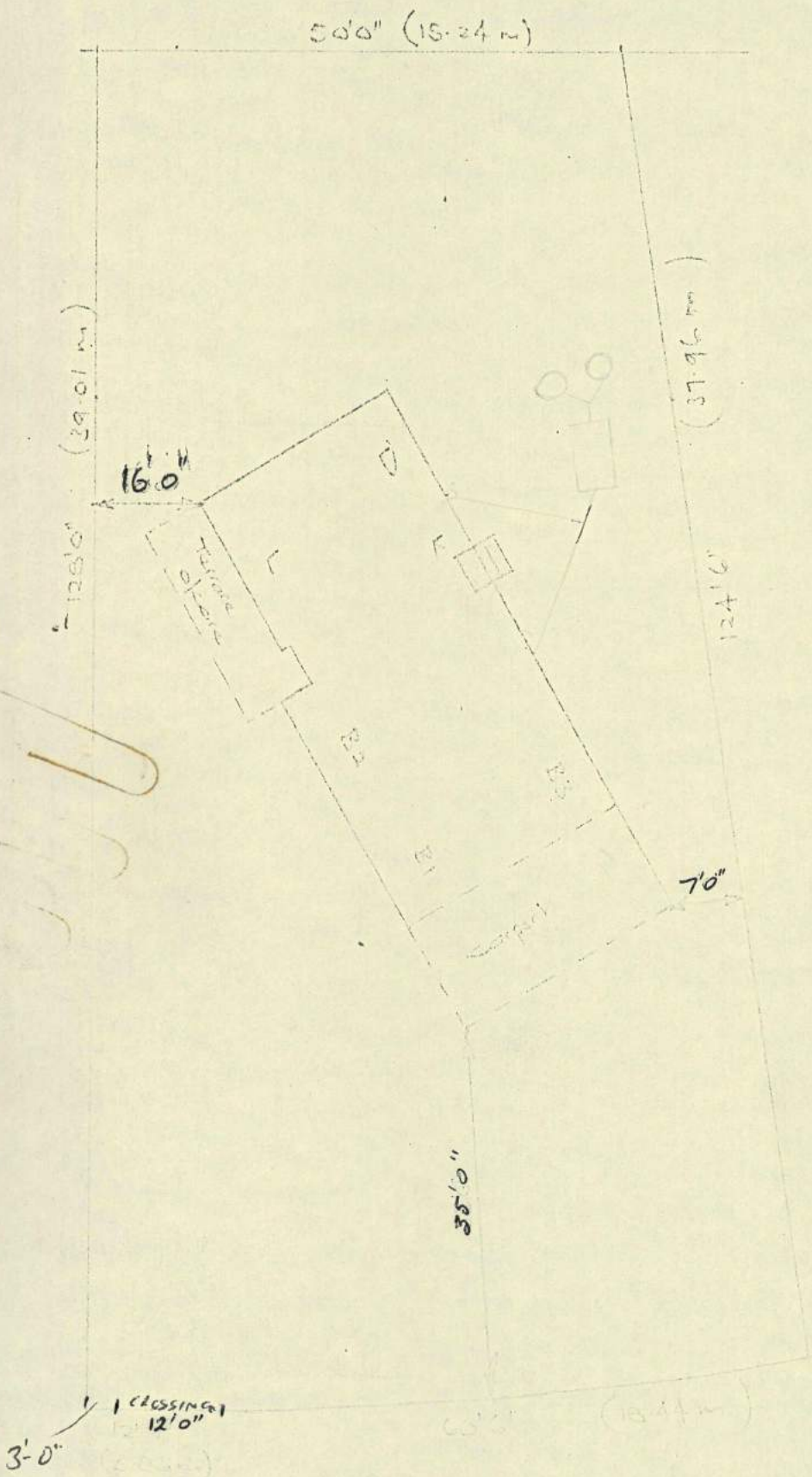
Thickness of Stucco

WALL VENEER: Air Space Between Timber & Veneer

Type and Size of Bricks

Veneer Ties

Signature of Applicant



Site Plans

Grigg B.R. & J.B.

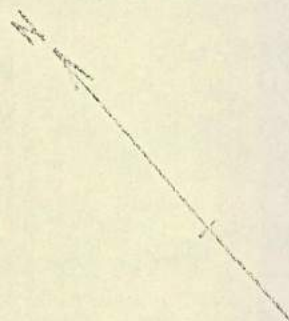
Lot 51

DPS 17273

Links Ave.

Mt Maunganui

Area 725 m²



ADDENDUM TO SPECIFICATION DATED 5.12.73

SHEET 1 ☐ SHEET 2 ☐SHEET 3 ☐ SHEET 4 ☐MARK WITH X SHEETS
APPLICABLE TO THIS JOB

CONTRACTOR BEAZLEY HOMES LIMITED AREA NO. 21
 TOWN MT. MAUNGANUI JOB NO. 1007
 OWNER'S SURNAME GRIGG PLAN NO. 7074
 OWNER'S CHRISTIAN NAMES BRIAN ROSS & JANICE BETSY
 OWNER'S ADDRESS 18 ULSTER ST, MT. MAUNGANUI PHONE NO. 56346
 OWNER'S SOLICITORS TRAPSKI DOWD THOMASON & STRACHAN 54993 Business
 SOLICITOR'S ADDRESS P.O. BOX 5056, MOUNT MAUNGANUI
 SOURCE OF FINANCE—Cash / ~~FB~~ / S.A.C. / ~~WARRANTY~~ / Ins. Co. /
~~Building Society~~ / Other

BEAZLEY SECTION Yes/No Lot 51 D.P.S. 17273
 Location LINKS AVE, MT. MAUNGANUI

PLAN REVERSED: NO Yes/No

FOUNDATIONS:

Piles and Fibrolite YES

~~Continuous Concrete~~

~~Concrete Block~~

~~Timber Wall Framing~~

~~Specified with~~

Finish: ~~Plaster~~ / ~~Plaster~~ / ~~Spack~~

BASEMENT: (Give Sketch) NO Yes/No

Type of Floor

Finish of Floor

Stud Height

Type of Doors

Windows

Wall Linings

Ceiling Linings

Lights Points

Drainage

Plumbing

Painted Outside

Painted Inside

NOTE: If occupation of basement is intended special water-proofing may be necessary.

ROOF:

~~hip~~ Gable ~~Iron~~ GABLE

Sheathing C.G. IRON

Overhang (from frame) AS PER PLAN

Pitch 15 AS PLAN

Gable Sheathing FLAT FIBROLITE

CEILING LININGS:

Gib. Board Batten/~~Top~~/~~Flush~~

~~FIBROPLANK~~

~~Other~~

Cornice Type WOOD

NOTE: Flush Gib. Board ceilings are liable to crack and become the client's responsibility if specified.

EXTERIOR:

Weatherboard Type FIBROPLANK

Brick Type —

Sills (if brick job) —

Brick Pointing/Coloured Mortar —

Front Porch Sheathing HIGHLINE TO RECESS

Rear Porch Sheathing FLAT FIBROLITE

Frieze Board YES — AS PLAN

WALL LININGS:

GIB. BOARD

INTERIOR DOORS: Type

C.C. MAHOGANY

DRESSER TOPS: FORMICA

TUB: Single/~~Double~~ Type ST. STEEL

TUB CABINET: NO

SINKTOP: ST. STEEL

RANGE: (Will it fit) SHACKLOCK 24C 4 plates

DESTRUCTOR: (Will it fit)

Are Side Panels required? — Which side? —

FIRE SURROUND: NO (deleted)

VANITY UNIT: NO

WALLPAPER: Prov. Sum per roll \$2.00

Please prepare a quotation for me, based on the above information.

Representative:

Client:

NOTE:

ALL sections of this addendum MUST be completed before the job will be accepted for quoting.

ADDENDUM TO SPECIFICATION DATED 5.12.73

CONTRACTOR BEAZLEY HOMES LIMITED JOB NO. 21/1007
 OWNER'S NAME GRIGG B.R. & J.B. PLAN NO. 7074

PELMETS: Box
 Gib. Board built down
 Fib. Plaster built down

SHOWER: Box/Over Bath
 Base Type and Size
 Taps/Mixer Type
 Linings
 Mouldings

ELECTRICAL:
 U'Ground/Overhead Length XXXXX 35'
 Total number Lights (excluding Basement) 13
 Total number Points (excluding Basement) 9
 T.V. Connection One
 Eye Level Range No

PLUMBING: High/Low
 Town Supply Yes/No
 Other Supplied by N.Z. OWNER/BUILDER
 Ajax/Coiling Tank
 Faucets Position and type NO

Hose Taps ONE
 H.W. Cylinder 40 GALLON 20 gal./40 gal.

EXTERIOR JOINERY:
 Front Door CD1 AS PLAN
 Rear Door D2 "
 Laundry Door N.A.

WINDOWS: ~~WOODEN~~/Aluminium (viewed from outside)
 Aluminium type FISHER COLORADO
 Lounge 8' SLIDER
 6'6 x 4'0 T $\frac{1}{2}$ WH SIDELIGHT

Bed. 1 A610R

Bed. 2 A610 L

Bed. 3 A610R

Bed. 4

Kitchen A46/2

Dining A610 R

A64

Laundry A44

Bathroom A44

W.C. A33

Obscure Glass type

WINDOW HARDWARE: C.P./BronzeX

FLOORING: CHIP BOARD
 (State whether T and G, Particle Board, Concrete, etc.)

SANDER:
 1 cut for covering YES
 2 cuts for varnish

DRAINAGE: Septic/Sewer

TERRACE: Size BY OWNER
~~Concrete~~
 Wooden OWNERS CARE
~~Fibrolite~~

Handrail Prov. sum per foot for supplying, fixing and painting NIL

N.B.: Dark colours used on the exterior could cause excessive shrinkage and paint failure.

SITE PLAN:
 Show lengths of boundaries and distances to building. Mark with X approximate required position of crossing. Indicate with an arrow direction of North. Show also position of off-street parking.

Length of R.O.W. if any.

IS SHEET 3 REQUIRED FOR THIS JOB? ~~NO~~ YES

IS SHEET 4 REQUIRED FOR THIS JOB?

Please prepare a quotation for me, based on the above information.

Representative: Client:

NOTE: ALL sections of this addendum MUST be completed before the job will be accepted for quoting.

BEAZLEY HOMES LIMITED

ADDENDUM TO SPECIFICATION DATED 5.12.73

CONTRACTOR BEAZLEY HOMES LIMITED JOB NO. 21/1007
OWNER'S NAME GRIGG B.R. & J.B. PLAN NO. 7074

1. Delete chimney and surround
2. Delete concrete terrace (owner to construct)
3. Delete divider and Flexifold between lounge and dining
4. Delete shower and extend Bed 3 wardrobe through to passage and form 1'6" deep cupboard opening into passage.
5. Relocate carport on Bedroom end of house.
6. Relocate window in bedroom 3 on side wall and delete HLW2 Bed 1.
7. Delete safe in kitchen.
8. Install sliding doors between kitchen and laundry and between kitchen and lounge.
9. Allow PC Sum \$50.00 to provide level consolidate site rather than build to existing levels.

Please prepare a quotation for me, based on the above information.

Representative: Client:

NOTE:

*WHEN AMENDMENTS ARE REQUIRED TO A HOUSE ALREADY QUOTED USE ONLY THIS FORM AND HEAD IT 'AMENDMENTS'

SPECIFICATIONS

FOR

A

BEAZLEY HOME

FOR

Contractor:

Employer:

This specification covers materials to be supplied by Beazley Homes Ltd. and work done and materials supplied by the contractor. The word "contractor" shall mean the person or firm engaged under the building contract to carry out and complete the erection of the dwelling house. The addendum attached to this specification forms part of this specification and details the particular requirements of the owner. Any materials mentioned in the addendum shall be fixed according to the manufacturers' instructions and in accordance with the lending authorities and local body requirements.

CONTRACT: The contract includes the supply and delivery of all materials, labour, fittings, tools, plant etc., necessary for the due and proper completion of the building as shown on the drawings and herein specified, in a thorough and workmanship manner, in strict accordance with the Local By-Laws.

PRECEDENCE OF DOCUMENTS: Should any discrepancy be discovered between this specification and any other document which together with this specification comprise the contract to build, then the following shall be the order of precedence: (1) The Building Agreement; (2) The Addendum to Specification; (3) Detailed drawings for any portion of the building whether separate or shown on the scale house plans; (4) This specification; (5) The scale house plans.

PERMITS: Contractor to comply with the Labour and Building By-Laws of the district and to apply for and obtain all necessary permits and to pay all fees for same.

PROVIDE AND FIX: The words "provide" and "fix" shall be construed to mean "provide and fix" where mentioned separately unless otherwise specified.

INSURANCE: The Contractor to have all his employees except sub-contractors covered against accident by an "Employer's Liability" policy and to take out insurance against fire for a sum sufficient to cover 100 per cent of the Contract sum, both policies to remain in force until the building is taken over by the owner.

MATERIALS: All workmanship must be careful, thorough and in accordance with the Local Body By-Laws and the N.Z.S.S. 1900.

STABILITY: The Contractor shall carefully brace and support all parts of his work against damage by wind and also protect same from damage by water.

MATERIALS: Any materials herein specified that are not procurable at the time they are required, may be substituted with other similar materials provided that the substituted materials conform to the Local By-Laws, and the lending institution's requirements. Where alternate materials are specified, the Contractor reserves the right to use any of the alternates unless it is agreed in writing that no alternate may be used.

PRICE FLUCTUATION: Should there be either a rise or fall in the price of labour or materials from the date the quotation is submitted, until final payment, an adjustment to the Contract Price is to be made accordingly, provided that the Contract Price has been affected by such rise or fall in prices.

CONCRETOR

Piles to be pre-cast concrete. Provide as required, dimensions to suit particular local bodies and lending institutions. Set on 12" x 12" x 4" concrete pad. If shown on plan or addendum erect chimney of precast type, not parallel, with 30" opening. Provide ashwell grate to exterior chimneys. Base to be purpose made sections. Sections to be placed on concrete footing full size of base 4" thick and reinforced. After erection, chimney to be plastered. Alternatively, chimney base may be poured in situ at Contractor's option.

If continuous concrete foundations are specified in the addendum they shall be:—

FOOTINGS: Minimum 12" x 6" taken to solid bearings, reinforced with two $\frac{3}{4}$ " mild steel rods.

FOUNDATION WALLS: Minimum 5" thick with continuous $\frac{1}{2}$ " M.S.R. near top. Concrete shall finish not less than 12" above ground level. Walls over 3'0" in height shall be reinforced with $\frac{3}{8}$ " rods at 15" centres both ways. 6" x 6" piers to carry stringers are to be built from and bonded into wall. Corbels reinforced back into wall may be used in high foundation.

SOLID BEARING. If solid bearing for piles or continuous foundation is in excess of 12" below ground level the additional excavation costs, concrete, reinforcements, and back filling shall be subject to an extra charge.

VENTILATION: Provide vents minimum 9" x 6" at 6'0" centres and not more than 3'0" from any angle.

SURPLUS SPOIL: The disposal of any surplus spoil from excavation of foundations, drainage, etc. will be the responsibility of the owner.

PORCH FLOORS: To be constructed in 4" concrete reinforced with $\frac{3}{8}$ " R.M.S. rods at 12" centres or equivalent in H.R.C. fabric. Floors and steps to be plastered with $\frac{1}{2}$ " thick coat of three to one sand and cement rendering.

CARPENTER AND JOINER

All materials are to be the best of their respective kinds and grades, laid true to their various levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction and to comply with the Local By-Laws in every respect.

JACK STUDS: Where piles do not reach underside of stringers fix 4 x 3 jack studs from top of piles to underside of stringers. Brace between jack studs at corners with 3 x 2 or 4 x 2 diagonal bracing. Place dampcourse between timber framing and concrete work.

STRINGERS to be 4 x 3 on edge and spaced at approximately 5'6" centres. All joints to be scarfed or spliced over solid bearing.

FLOOR JOISTS to be 6 x 2 gauged to an even surface and nailed with 3" and 4" nails to stringers and bearers. All joists to be lapped over a solid bearing. Provide double joists under exterior end walls.

PLATES: All to be straight and in long lengths, scarfed at all joints and halved at corners and intersections.

STUDS: To be double nailed to all plates with 3" and 4" nails. Stud height to be 8'0".

TRIMMERS: All window openings to have top lintels in accordance with N.Z.S.S. supported on 4 x 2 stretchers cut between lintels and bottom plate. 4 x 2 jack studs to be cut between bottom plate and sill trimmer.

BRACES: Wherever possible, brace to all external corners with 3 x 2 or 4 x 2 braces cut between studs. Provide 4 x 2 ceiling runners to all spans from 6'0" to 8'0". For spans over 8'0" provide an 8 x 1 on edge with a 4 x 2 nailed to the ceiling joists and spiked to the 8 x 1.

ROOF: Roof to be framed up properly in the manner as shown to required degree of pitch. Rafters to be 4 x 2 spaced at 30" centres, properly birdsmouthed and checked and securely nailed to all plates and ridges with 3" and 4" nails. Fix 3 x 2 purlins at approximately 24" centres. Rafters will have two birdsmouths, the inner one being for the purpose of fixing 3 x 1 $\frac{1}{2}$ ceiling joists.

BASE SHEATHING: Unless otherwise specified base sheathing shall be $\frac{1}{4}$ " asbestos cement sheets fixed to timber backing as shown in the standard details.

EAVES: Allow the rafters to overhang as shown and cut off plumb. Frame down with 2 x 2, or 3 x 1 $\frac{1}{2}$ and fix 6 x 1 or 8 x 1 Fascia board. Line under with asbestos sheets and finished as detailed. Alternatively Fascia may be galvanised metal on timber backing.

EXTERIOR SHEATHING: Sheathing will consist of 8" fibroplank fixed to maker's instructions.

FLOORING: To be High Density Flooring Grade particle board. On completion of all trades, clean off with one cut of fine sanding machine.

NOGGING: Noggings to exterior studs will be 3 rows 3 x 1 ribbon checked in flush on the inner side. Alternatively 3 rows of 4 x 2 dwangs may be used. Interior nogging will be three rows of 4 x 2 dwangs. Ceiling noggings will be 3 x 1 checked in flush with the bottom of their ceiling joists spaced as required to take joints of ceiling sheets. For veneer construction exterior nogging will be three rows of 4 x 2 dwangs.

CEILINGS: All ceilings to be lined with $\frac{3}{8}$ " Gibraltar board sheets. All sheets to be nailed with 1 $\frac{1}{4}$ " galvanised flat head nails and to have joints covered with splayed or half round batten.

CORNICES: Provide 1 $\frac{1}{4}$ " wooden scotia moulding to all ceilings.

LININGS: All interior wallpapered walls to be lined with $\frac{3}{8}$ " Gibraltar board sheets flush jointed. All sheets to be nailed with 1 $\frac{1}{4}$ " galvanised flat head nails on joints every 6" and intermediate studs and nogging every 9". All stopping to be done with the best stopping plaster, filled to an even surface and all spots and risers removed. All interior painted walls as above, but joints covered with 1 $\frac{1}{4}$ " half round battens.

INGOING TO PORCHES: Ingoing to back and front porches to be lined with 3/16" asbestos sheets. Cover joints with "D" mould batten.

TIMBER SCHEDULE

POSITION IN BUILDING	Size	TYPE						Grade	Remarks
Jack Studs	4x3 P.G.	Treated Radiata	or	B.A.Ht.	Rimu	or	Matai	To General List of Timber Acceptances (Housing) accepted by State Advances Corporation and Ministry of Works Housing Division.	Approx. 4' 0" Centres
Stringers	4x3 P.G.	"	"	"	"	"	"		Approx. 5' 6" Centres
Foundation Bracing	4x2 P.G.	"	"	"	"	"	"		
Floor Joists	6x2 P.G.	"	"	"	"	"	"		Approx. 1' 6" Centres
"	8x2 P.G.	"	"	"	"	"	"		When required
"	9x2 P.G.	"	"	"	"	"	"		"
"	10x2 P.G.	"	"	"	"	"	"		"
"	12x2 P.G.	"	"	"	"	"	"		"
Herringbone Bracing	2x2 P.G.	"	"	"	"	"	"		"
Top and Bottom Plates (Exterior)	4x2 P.G.	B.A.O.B.							
Top and Bottom Plates (Interior Bearing)	4x2 P.G.	"	"	"	"	"	"		
Top and Bottom Plates (Non Bearing)	3x2 or 4x2 P.G.	"	"	"	"	"	"		
Studs (Non Bearing)	3x2 or 4x2 P.G.	"	"	"	"	"	Douglas Fir	1' 6" Centres	
Studs, External and Internal (Bearing)	4x2 P.G.	"	"	"	"	"	"	1' 6" Centres	
Wall Ribbons	3x1 P.G.	Treated Radiata or Douglas Fir							
Ceiling Ribbons	3x1 P.G.	Treated Radiata or Douglas Fir							
Window Trimmers, Top	8x2	Treated Radiata	or	B.A.O.B.	Rimu				
Window Trimmers, Bottom	4x2	"	"	"	"	"	"		
Window Stretchers	4x2	"	"	"	"	"	"		
Window Jacks	4x2	"	"	"	"	"	"		
Ceiling Joists	4x2	"	"	"	"	"	"	1' 6" Centres	
Ceiling Runners	8x1 R.S.	"	"	"	"	"	"	Nailed together	
"	4x2 P.G.	"	"	"	"	"	"	"	
Rafters (Iron Roof)	4x2 P.G.	"	"	"	"	"	Douglas Fir	2' 6" Centres	
Rafters (Metal Tiled Roof)	4x2 P.G.	"	"	"	"	"	"	2' 0" Centres	
Rafters (Concrete Tiled Roof)	4x2 or 5x2 P.G.	B.A.O.B.				Rimu	"	1' 6" Centres	
Struts (Roof)	4x2 P.G.	Treated Radiata	or	B.A.O.B.	Rimu				
Under-Purlins (Concrete Tile Roof)	4x3 P.G.	"	"	"	"	"	"		
Under-Purlins (Metal Roof)	4x2 P.G.	"	"	"	"	"	"		
Collar Ties (Metal Roof)	6x1 R.S.	"	"	"	"	"	"		
Ridges and Hips	8x1 R.S.	"	"	"	"	"	"		
Valley Rafters	6x2 P.G.	"	"	"	"	"	"		
Valley Boards	6x1 R.S.	"	"	"	"	"	"		
Purlins	3x2 R.S.	"	"	"	"	"	"		
Dwangs	4x2 & 3x2 P.G.	"	"	"	"	"	"	Approx. 2' 0" Centres	
Braces	3x2 or 4x2 P.G.	"	"	"	"	"	"	3 Rows	
Jack Framing (Fibrolite Bases)	4x2 P.G.	B.A.Ht.				Rimu			
Fascia Board	6x1, 8x1 or 9x1	Heart or O.B. Rimu or O.B. Matai or Kahikatea Treated							
Internal Door Jambs	1" O.B.R.	or Finishing Grade Radiata							
Internal Door Stops	1½" O.B.R.	or Finishing Grade Radiata							
Architraves	3"x½"	O.B. Rimu or Finishing Grade Radiata							Bullnosed
Skirting	3"x½"	O.B. Rimu or Finishing Grade Radiata							Bullnosed
Sill Boards	1" O.B.R.	or Finishing Grade Radiata							
Window Jambs	6x1½	D.A.H. Rim or equivalent or Treated D.O.B. Native Timber or Cedar							
Window Sills	6x2½	"	"	"	"	"	"		
Door Sills	9x2½	"	"	"	"	"	"		
Window Mullions	4x3	"	"	"	"	"	"		
Window Sashes	4x2 & 3x2 P.G.	"	"	"	"	"	"		

To General List of Timber Acceptances (Housing) accepted by State Advances Corporation and Ministry of Works Housing Division.

Interior Finishing work not specifically mentioned to be D.A. Rimu or Finishing Grade Radiata.
Exterior finishing work not specifically mentioned to be D.A.H. Rimu or approved Treated.

WARDROBES: To be lined and ceiled and to have 9" full length hat shelving. Provide hanger rod.

LINEN: To be lined and finished as for wardrobes and to be fitted with full width slatted shelves spaced at approximately 18" centres.

KITCHEN CUPBOARDS, ETC. Construct kitchen cupboards, and sink unit where and as shown on plan.

HOT WATER CUPBOARD. Provide hot water cupboard where shown with two rows of slatted shelving above the cylinder.

JOINERY: All exterior door and window frames and sills to be as mentioned in schedule and to be grooved, throated and constructed in a proper manner and primed before fixing. Alternatively aluminium joinery if detailed on addendum to specifications shall be provided.

WINDOWS: To be to sizes as shown on plan. Sashes to be top opening, hung on friction stays and secured with C.P. split rail fasteners. Where sashes are shown as split rail type bottom portion will be fixed. All landscape sashes will be fixed.

DOORS: Interior (main) 6'6" x 2'6" hollow flush type. W.C., bathroom 6'6" x 2'2" hollow flush type.

Wardrobes, etc. 6'6" x 2'0" hollow flush type. Interior doors to be flush type hung in 1" jambs with $\frac{1}{2}$ " planted stops or solid rebated jambs as required. Alternatively door jambs and window jambs may be grooved for wallboard sheets in which case architraves will not be required. Exterior front, 6'6" x 2'8", three light obscure glazed. Exterior rear, 6'6" x 2'6", three light obscure glazed. Fit interior doors with C.P. latch sets. Fit exterior doors with C.P. lock sets.

FINISHING: Finish off inside of door and window openings with 3" bull nose architraves. Windows to have 1" sillboards. Skirting to be 3" bullnose fitted to all walls.

BATHROOM: Bath to be built in with framing and lined around with wallboard sheets. Finish around lip of bath against wall with splash board. Build in single shaving cabinet with mirror.

MANHOLE: Provide a 20" x 20" opening in ceiling and provide cover of same material as ceiling.

LAUNDRY: Provide single stainless steel tub and brackets.

FIRE SURROUND: If plan or addendum specifies a chimney provide a fire surround to owner's requirements and allow a provisional sum of \$45.00.

SINK TOP: To be 5'6" stainless steel fluteline.

PLUMBER

FLASHING: Flash chimney and all openings through roof with appropriate materials and make the building water tight.

VALLEYS: To be 24 g. Galvanised Iron. Spouting to be 5" quarter round supported on brackets at 36" centres and given evenly graded falls to downpipe outlets. Downpipe to be 2 $\frac{1}{2}$ " diameter.

ROOF: 26 g. Corrugated Galvanised Iron. All laps to be primed. Where required by Local Authority or Lending Institution, fix under roofing tightly stretched fowl-netting and on top of this lay building paper.

WATERPROOF: Leave the building absolutely waterproof in every respect. Any part or parts omitted from this specification and necessary to make the building water-tight, shall be taken as mentioned.

COLD WATER: Lay water from supply through galvanised, P.V.C. or copper piping, fitted with all necessary bends, tees, elbows, etc., to points over basin, sink, W.C., tub, bath, and inlet to hot water cylinder.

HOT WATER: Provide and fix an approved electric hot water cylinder to capacity required by local Power Board with element and thermostat control and all necessary connections to make same in working order. Lay water through copper piping lagged where required by local authority to bath, basin, sink, laundry washer and tub.

BATHROOM: Provide and fix in bathroom one 5'6" W.P.E.C.I. standard quality or R.V. pressed steel enamelled or Plix bath. Provide one 22 x 16 W.P. earthenware wall basin on C.I. brackets.

WATER CONNECTION: Fees for water connection to be paid by Contractor to Local Authority.

WASTES: Baths, tubs and sink to have 1 $\frac{1}{2}$ ", basin to have 1 $\frac{1}{2}$ ", P.V.C. or copper traps and P.V.C. or copper wastes. All wastes to discharge over gully traps. Provide and fix all necessary anti-syphons. All sanitary plumbing to be installed by a registered plumber approved by the Health Department and the Sanitary Inspector.

TAPS: All taps and extensions, except stop cocks, to be chromium plated streamlined bib and pillar cocks indicated "Hot" and "Cold" respectively. Stop cocks to be brass. Install one brass hose tap.

W.C.: To be provided complete with white earthenware pan, Dolphin plastic seat, low set flush cistern, flush pipe, soil pipes, fittings and vent.

DRAINER

DRAINAGE: Excavate for and lay all necessary drains from gully traps and W.C. to septic tank or town sewer. All pipes and connections to be 4" first quality earthenware with sound socket joints to be laid to a true and even fall.

Contractor to allow in his quotation for extra 4" glazed pipe and fittings where house is sited more than 40 feet from mains sewer.

All joints to be sealed with rubber rings. Fill in trenches carefully after the work has been inspected and generally do a thorough job and leave the whole in perfect working order.

SEPTIC TANK: Where town sewerage is not available provide one five-person concrete tank and make complete with sump to comply with the Health Regulations.

Allow for approximately ten feet of glazed drainage from nearest point of house to septic tank.

The whole of the drainage and sanitary arrangements to comply with the By-Laws and to the satisfaction of the Sanitary Inspector.

PAINTER AND PAPERHANGER

MATERIAL: All materials used in this trade to be the best of their respective kinds and workmanship to be used according to best trade practice.

EXTERIOR: All woodwork to be sanded between coats. Exterior woodwork and interior of wooden sashes to receive one coat of first quality priming. Putty all nail holes and finish with two coats of approved paint as selected.

Spouting and down pipes to be given two coats of approved paint as selected.

ROOF: Painting of roof to be Owner's responsibility.

INTERIOR: Walls and ceilings of all service rooms to have a coat of pigmented sealer. All finishing timber trim to be given a coat of white primer, then all work to be given one coat of undercoat and one coat of selected enamel in shades to suit owner.

Ceilings in other than service rooms to be given one coat of sealer and two coats of flat paint. Alternatively, finishing not to be painted, to have one coat of clear sealer and two coats of varnish. The inside of wardrobes to be painted with two coats of acrylic paint. The inside of linen cupboard, cylinder cupboard and kitchen cupboards are not painted, other than the inside of the doors.

COLOURS: The number of colours per room shall not exceed three. Additional colours may be added at extra cost.

WALLPAPER: Walls of other than service rooms to be wallpapered. Wallpaper cost per roll to average \$..... as agreed with the Contractor. Papers to be hung plumb and joints butted where possible. Walls first to have a coat of sealer.

ELECTRICIAN

ELECTRICIAN: The Electrician will make the necessary notifications to the Local Power Board. All work to be carried out to the satisfaction of the said Power Board and the Underwriter's Association.

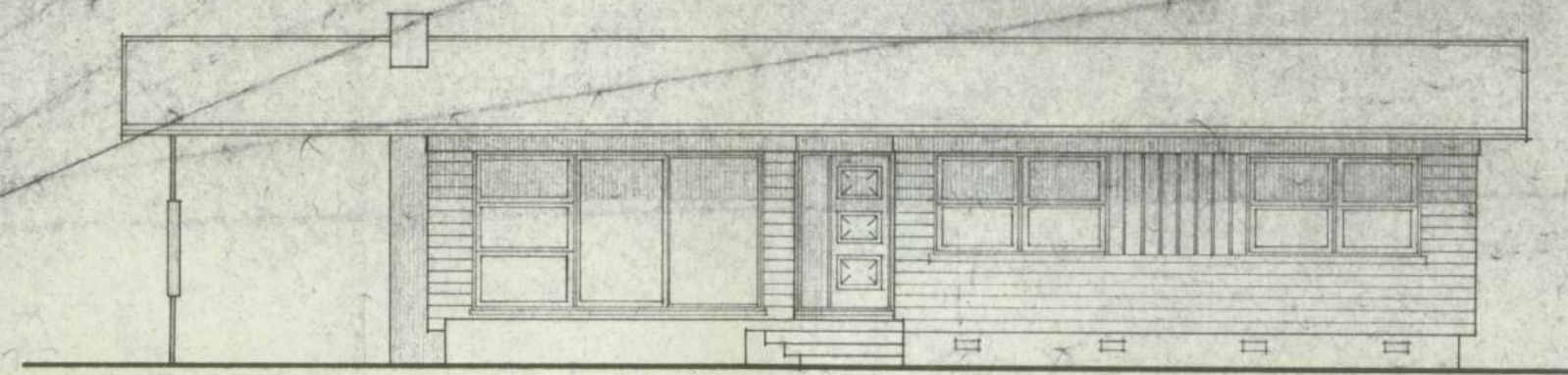
METER PANEL: Provide and fix one meter panel complete where directed by the Power Board Authority.

SWITCHES: Provide and fix flush switches to all light points.

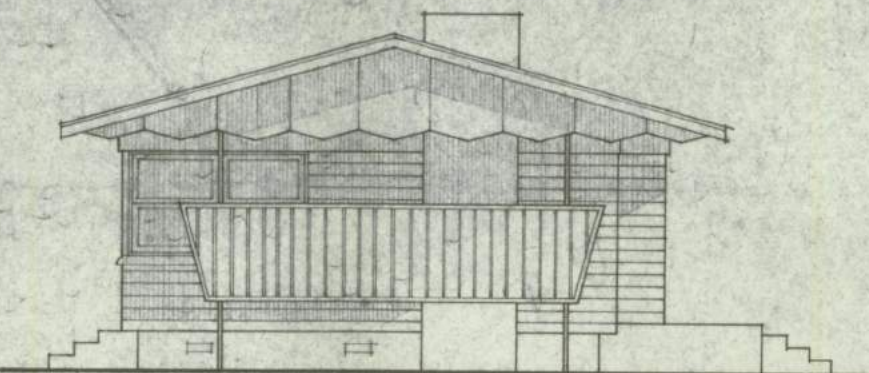
LIGHTS: Provide and fix one light point to each room, one to hall, and one to front and rear porches where directed.

POWER: Provide and fix a total of 3 power points where directed and make connections to hot water cylinder and stove.

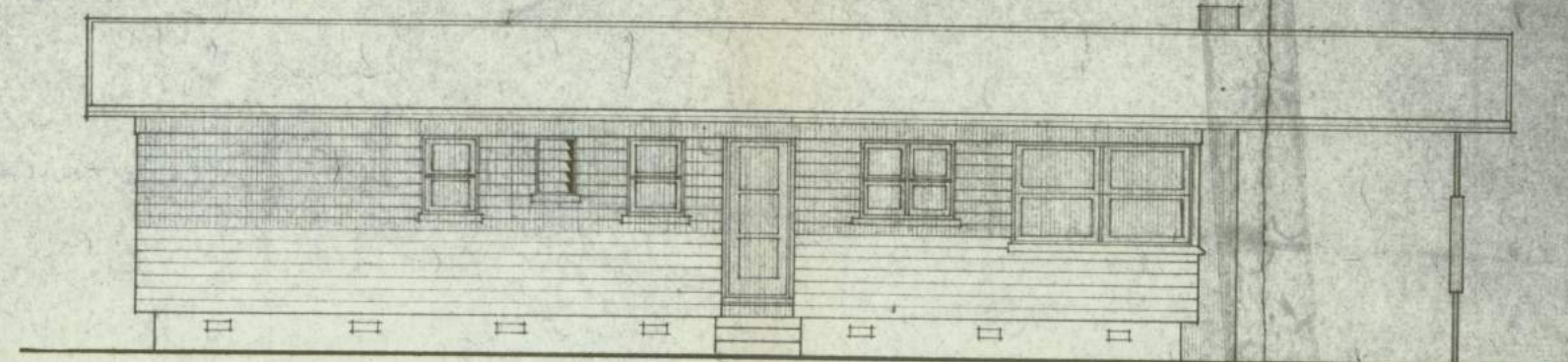
STOVE: Allow the provisional sum as shown on addendum for supply of electric stove and fix where shown.



FRONT ELEVATION



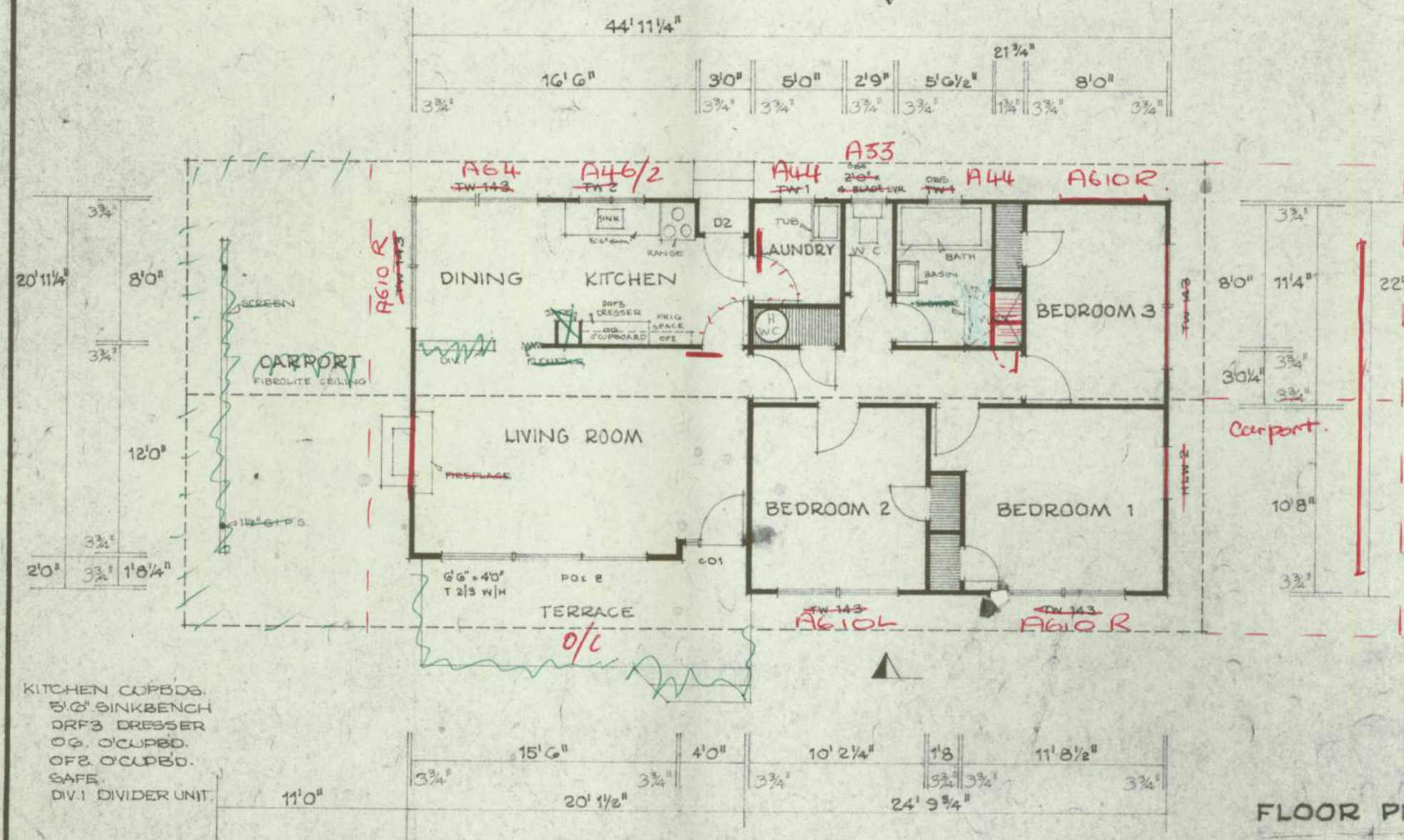
SIDE ELEVATION



REAR ELEVATION

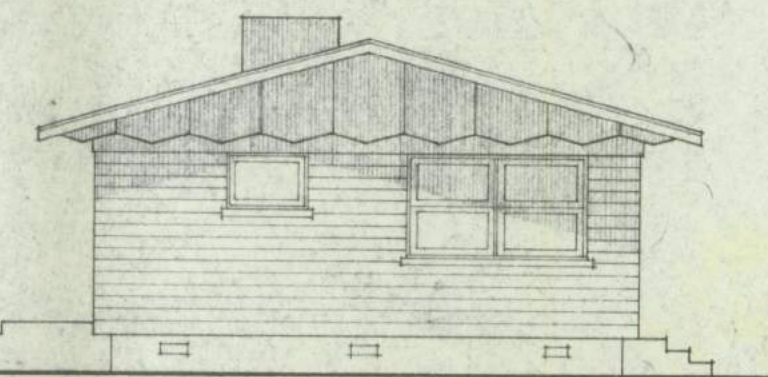


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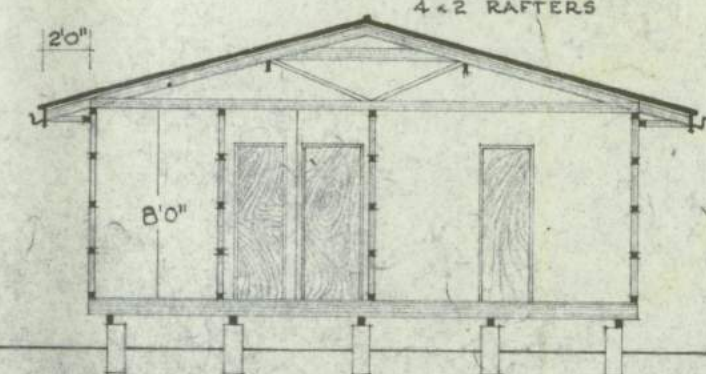


FLOOR PLAN

AREA 980 sq ft. EXCLUDING PORCHES

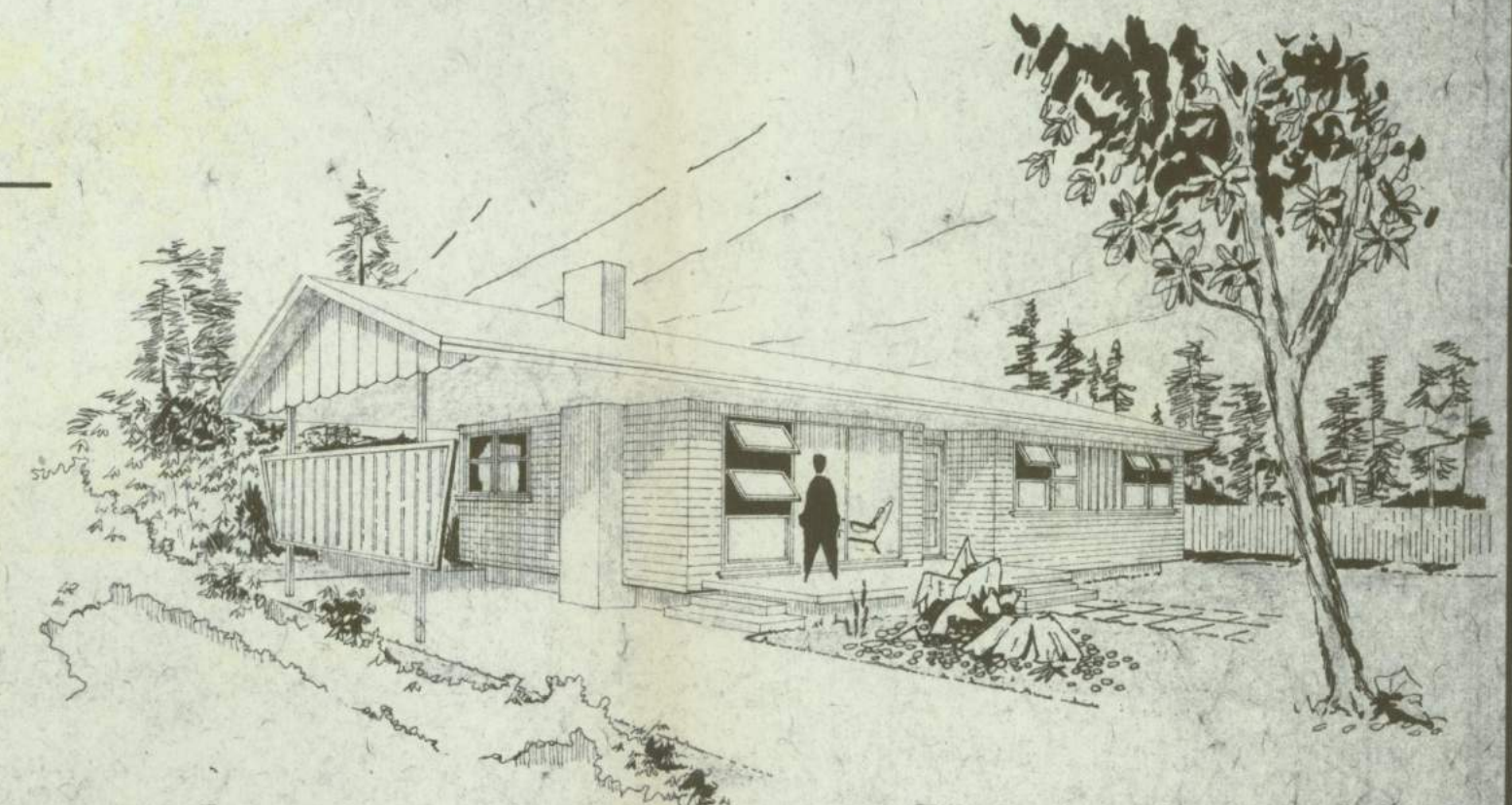


SIDE ELEVATION



SECTION

15° PITCH
CORR. IRON ROOFING
3x2 PURLINS
4x2 RAFTERS



PERSPECTIVE

ARTIST'S IMPRESSION

WESTBROOK

PROPOSED RESIDENCE FOR MR. & MRS. *B.R. Grigg*
AT *LINKS AVE* *Mt. Maunganui*

BEAZLEY HOMES LTD.
HEAD OFFICE
MT. MAUNGANUI
PRIVATE BAG
Phone 54-009

CONTRACTOR

Drawn: *S. WHITTALL*
Date:
Re-drawn:
Checked:
Scale: *1/8" to 1/0"*

FILE No. 7074
MT. MAUNGANUI
Job No.

Sheet
of

AM

BOROUGH OF MOUNT MAUNGANUI
(The Drainage and Plumbing Regulations 1978)

Application for Permit for Sanitary Plumbing and Drainage Work (Including Stormwater)

To the Health Inspector,

Date 10 MAY 82

I hereby apply for permission to have the work described herein and set out on the back hereof carried out as follows:—

PLUMBER or DRAINLAYER Name: <u>S. B. Matthews</u> Phone No. _____ Postal <u>21 Millers Rd</u> Address: <u>TAURANGA</u>	Name of Person for whom work is to be carried out: OWNER Name: <u>B.R. & J.B. GRIFF</u> Phone No. _____ Postal <u>97 LINKS AVE</u> Address: <u>MOUNT MAUNGANUI</u>
LOCATION Val. Roll No. <u>6773/200</u> Lots. No. <u>51</u> D.P.S. <u>17273</u> House No. <u>97 LINKS</u>	

hereby apply for permission to carry out the work described herein and set out in the plans attached hereto,

SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT:

	W.C.'s	BATHS	SHOWER	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOT & COLD WATER SERVICES
INSTAL										
RENEW										
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT:

Tick where applicable.

1. Construct new drain together with septic tank and effluent disposal system.
2. Construct new drain and connect to sewer or other approved outfall.
3. Extend drain.
4. Repair drain.

✓
✓

ESTIMATED VALUE OF PLUMBING \$ _____ FEE \$ _____

" " " DRAINAGE \$ 350 FEE \$ 25

(Values not to include cost of materials)

Signature A Matthews Practising Cert. No. 07924
(To be signed by Craftsmen Plumber or Registered Drainlayer only)

SCHEDULE OF FEES

	Value of work (labour only)				Fees
Not exceeding \$50	\$50				\$10.00
Over \$50 but not exceeding \$100	\$50			\$100	\$15.00
" " " " " "	\$100	"	"	"	\$20.00
" " " " " "	\$200	"	"	"	\$25.00
" " " " " "	\$400	"	"	"	\$30.00
" " " " " "	\$600	"	"	"	\$35.00
" " " " " "	\$800	"	"	"	\$40.00

For every \$500 or part thereof in excess of \$1000 an additional fee of: \$5.00

Re-issue of Permit - (for change of tradesman after issue of Permit.) \$8.00

Office Use

Receipt No. 7582

Inspected g/s

Permit No. 5868

23 July 2018

LOUISE JANICE PIKE
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear Resident/Occupier

RE: PROPOSED ARATAKI CORRIDOR IMPROVEMENTS

Over the past year, especially since the Bayfair to Baypark construction has started, there has been significant increase in vehicle queues on local roads around Arataki. This is creating safety issues for people walking and riding bikes, and delays for buses. We want to make it safer and easier for people to cycle and use public transport between Sandhurst Drive and Golf Road.

We're proposing to trial new bus lanes and separated bike paths along with some intersection upgrades. A lot of students walk and ride bikes to school through this area, so we want to make it as safe as possible. In December 2018 the Regional Council will start providing more frequent bus services through the area. The bus lanes will help make these bus trips more reliable.

You can learn more about what is proposed, the timeframes, and take a look at concept plans of what is planned here – www.tauranga.govt.nz/arataki.

During August 2018 we'll be talking with the community about these plans. You are welcome to come along to one of these sessions. Staff will be available to discuss the proposals with you. These are 'drop-in' sessions so come along at any time when we are there. Drop-in Session Dates and Times are:

- Saturday 11 August – 2pm until 4pm, Arataki Community Centre, Zambuk Way (off Grenada Street), Mount Maunganui
- Wednesday 22 August – 4pm until 6pm, Mount Maunganui Intermediate, Classroom 23 (on Links Avenue side near bus stop), Links Avenue, Mount Maunganui

If you have any questions or would like to meet with one of the project team to talk about how the proposals directly impact you, your property or business please feel free to contact us on transport@tauranga.govt.nz and we will arrange a suitable time.

Yours sincerely



Greg Bassam
Senior Transport Planner
City & Infrastructure Planning

29 October 2018

Louise Janice Pike
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear Owner/Occupier

LINKS AVENUE TRIAL BUS LANE

Earlier this year the local Arataki community was engaged with about proposed improvements to make it safer and easier for people to cycle and use public transport in the area.

Many students walk and ride bikes to school through this area, so we want to make it as safe as possible. There are a number of transport projects to be implemented, including a morning peak trial bus lane for Links Avenue

Based on the feedback received we revised the bus lane concept to create a clearway for buses along Links Avenue between 7:15am and 10:00am, Monday to Friday.

We are planning to have the new clearway operating by December this year. The on-road car parks on Links Avenue will be available for use outside of the operational times of the clearway.

Please feel free to visit our webpage to view the project in more detail or if you would like more information www.tauranga.govt.nz/arataki.

Yours sincerely



Greg Bassam
Senior Transport Planner

07 577 7200 ext 7587 | 027 609 4118
gregory.bassam@tauranga.govt.nz

19 December 2019

THE RESIDENT
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear resident,

Links Avenue / Concord Avenue / Farm Street Intersection Safety Improvements

As you may already be aware, Tauranga City Council and Fulton Hogan will be working together to complete safety improvements to the Links Avenue / Concord Avenue / Farm Street intersection. These works will start on 6 January 2020 and aim to be complete before school goes back in early February 2020 (weather dependent).

To expedite the works – temporary road closures will be in place during this time beginning on 8 January from 6am to 6pm. Each road closure point will be manned in order to maintain access for all residents in this area, pedestrian/cycle access will also be maintained with some diversions in place. There will be a traffic controller on site throughout the construction period to ensure the inconvenience is kept at a minimum.

We will be working as efficiently as possible to get the roads open again, however we are unable to give specific timeframes around the closures at this time as they are dependent on the progression of works. Please see the leaflet included with this letter for location details.

Please note: Spur Avenue will also be closed to traffic entering from SH2 (Maunganui Road).

While the **Stage 1** road closure is in effect, the bus stops on Links Avenue will be temporarily unavailable – however, alternative bus stops will be available at the following locations

- 45 Concord Avenue
- 55 Oceanbeach Road
- 14A Golf Road

For information on temporary bus routes please visit Baybus.co.nz or call 0800 BAYBUS (0800 422 928).

All bus stops on Links Avenue will be reinstated and operate as normal during the **Stage 2** closure.

If you have any further questions, please feel free to contact me on 07 577 7000 or via email at Anna.Whitley@tauranga.govt.nz. Alternatively, you can also contact Jo Franks on 07 577 7000, or via email at Jo.Franks@tauranga.govt.nz.

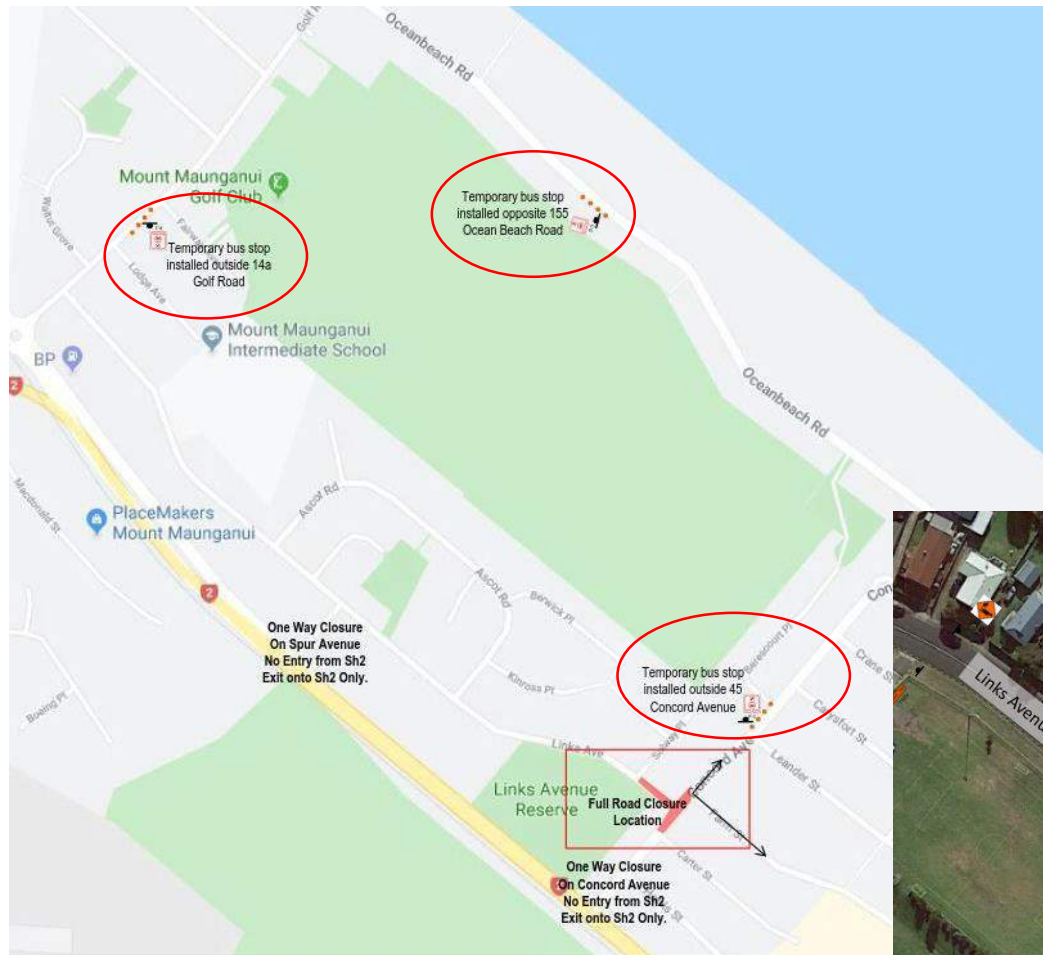
Kind regards,



Anna Whitley

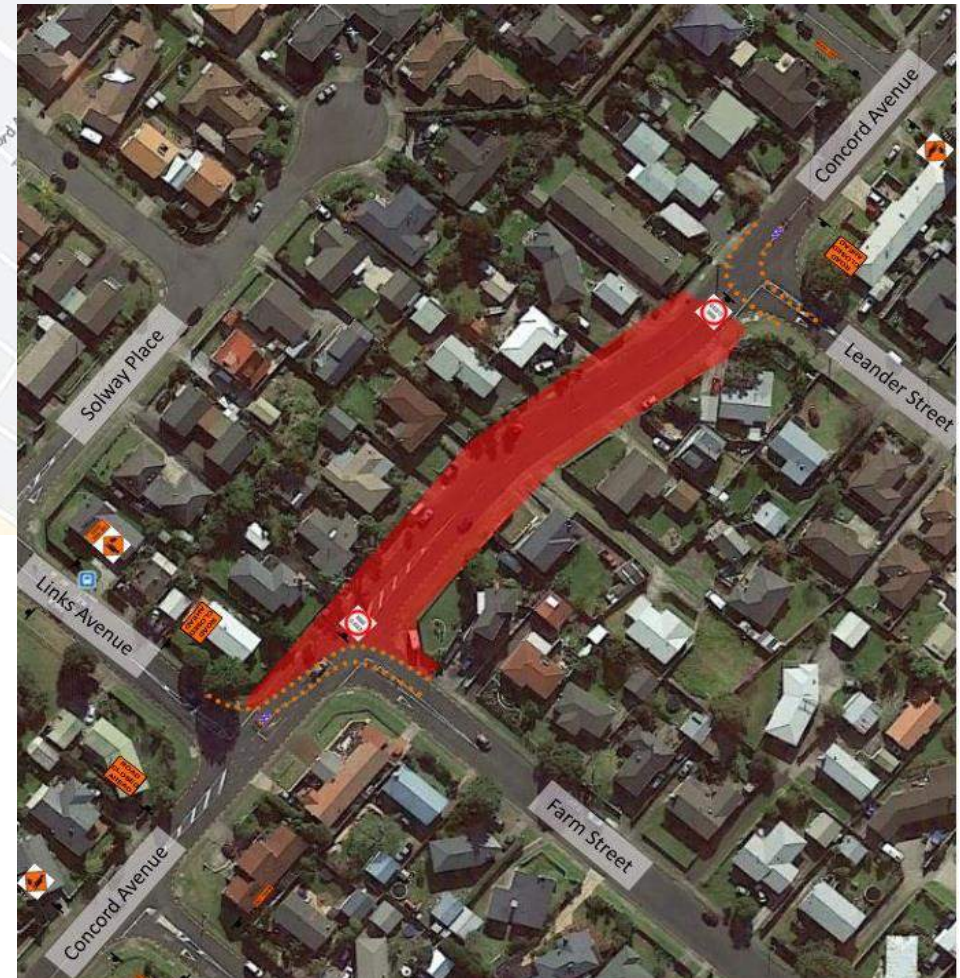
**Project Manager: Infrastructure
Infrastructure Delivery, Tauranga City Council**

Stage 1 Road Closure



Temporary alternative bus stop locations are circled in red





19 December 2019

THE RESIDENT
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

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Kind regards,



Anna Whitley

**Project Manager: Infrastructure
Infrastructure Delivery, Tauranga City Council**

10 November 2020

Louise Janice Pike
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear Sir/Madam

Proposed Plan Changes to the operative Tauranga City Plan

Tauranga City Council is currently progressing the following plan changes to the operative Tauranga City Plan (City Plan):

- **Proposed Plan Change 26 (Housing choice)**
This plan change proposes changes to the City Plan to make it easier for people to build a variety of more compact types of homes, like duplexes, terraced houses, townhouses and apartments, to better suit their needs.
- **Proposed Plan Change 27 (Flooding from intense rainfall events)**
This plan change introduces a new rule framework to manage the effects of flooding in intense rainfall events on people, properties and infrastructure.
- **Proposed Plan Change 30 (Earthworks)**
This plan change proposes to clarify wording of existing provisions to ensure that earthworks are undertaken in a safe manner, avoiding negative effects on the environment.

As the owner of the property at 97 LINKS AVENUE, you have been identified as likely to have an interest in the changes proposed for the following reasons.

Through proposed Plan Change 27, mapping has been updated and will supersede existing flood hazard mapping that Tauranga City Council holds. Your property has been identified through the flooding from intense rainfall plan change as being in a potentially floodable area (such as overland flowpaths, floodplains or flood prone areas) and may be subject to additional rules for any future works on the site. Proposed Plan Change 27 will have legal effect from Monday 16 November 2020. This means that all applications, where required, should have regard to the proposed objectives, policies and rules from the date of public notification.

In addition, we're proposing city-wide changes through Plan Change 30 (Earthworks) to improve existing rules for the control of earthworks at all stages of development (subdivision and post-subdivision), and sediment and erosion control.

Where to find more information

To help you understand the proposed plan changes and how they affect your property, the following information is available at www.tauranga.govt.nz/planchanges, at council's customer service centre and your local library:

- public notice as published in the Weekend Sun on Friday 30 October 2020 and Bay of Plenty Times Saturday 31 October 2020;
- annotated text showing the proposed changes to the City Plan and section 32 evaluation reports explaining the reasons for the proposed changes;
- online map viewer showing the location and extent of the plan change areas, including the City Plan zoning and flooding on your property;
- submission form to make a submission.

If you rent or lease your property, please ensure you notify your tenant or lessee about the contents of this letter.

These proposed plan changes have been initiated under the provisions of Schedule 1 of the Resource Management Act 1991.

Community open days

If you wish to discuss the proposed plan changes, please join us at one of the community open days listed below.

If you have specific questions about how your property is affected by proposed plan change 27 (Flooding from intense rainfall), we recommend booking a private appointment with our team at one of the community sessions listed below. Book online at www.tauranga.govt.nz/planchanges or call (07) 577 7000.

Date	Time	Location
Monday, 23 November	3pm to 6pm	Greerton Library, 139 Greerton Road
Tuesday, 24 November	3pm to 6pm	Arataki Community Centre, Zambuk Way
Wednesday, 25 November	3pm to 6pm	Otumoetai Golf Course, 25 Bureta Road
Thursday, 26 November	3pm to 6pm	Council offices, 91 Willow Street
Friday, 27 November	3pm to 6pm	Bethlehem Hall, 239A State Highway 2
Saturday, 28 November	9am to 12.00pm	Tauriko Hall, 776 State Highway 29
Monday, 30 November	3pm to 6pm	Papamoa Community Centre, 15 Gravatt Road
Tuesday, 1 December	3pm to 6pm	Mount Rugby Club, 49 Miro Street
Thursday, 3 December	3pm to 6pm	St Stephens Church, 15 Brookfield Terrace
Friday, 4 December	3pm to 6pm	Welcome Bay Community Centre, 242 Welcome Bay Road

Making a submission

Submissions on proposed plan change 26, 27 or 30 must be lodged in writing and either submitted online at www.tauranga.govt.nz/planchanges, emailed to city.plan@tauranga.govt.nz or posted to:

Manager: City and Infrastructure Planning
Tauranga City Council
Freepost Authority Number 370
Private Bag 12022
Tauranga 3143

Submissions are open until 5pm, Friday, 18 December 2020

The submission should be in the format of Form 5 of the Resource Management (Forms, Fees and Procedure) Regulations 2003 and must be dated and signed by you and include the following information:

- (a) Your name, address, telephone and email address.
- (b) The plan change number and details of the provisions to which the submission is being made.
- (c) Whether you support or oppose the plan change provisions, in whole or in part.
- (d) Reasons for your support or opposition.
- (e) The decision you wish Tauranga City Council to make.
- (f) Whether you wish to be heard in support of your submission.
- (g) Whether or not you could gain advantage in trade competition through your submission.

For further information regarding the details of the amendments introduced by the proposed plan changes contact us on (07) 577 7000 or email city.plan@tauranga.govt.nz.

Yours sincerely



Janine Speedy
Team Leader: City Planning

We're growing up

New housing rules are coming soon



Submissions are open on proposed Plan Change 33 – Enabling Housing Supply

The Government is making some changes to housing rules that will change what you can do on your property. Your neighbourhood may change too, over time. In a nutshell, people will be able to build more on their residential sections without needing sign-off from council, or approval from neighbours.

Like all major cities, we're in the thick of a housing crisis. We're short of homes, and there's little choice in the type and size of dwellings we can live in. To help address these issues, Tauranga needs to grow up as well as out, and we've been given strict direction from the Government to enable this.

Through the Resource Management (Enabling Housing Supply and Other Matters) Amendment Act 2021, we've been instructed to amend the rules in our city plan so that we:

- allow people to build up to three dwellings of up to three storeys on most sections in residential zones, without needing to obtain a resource consent
- enable higher density housing with more building height around the city centre, and other identified commercial centres across the city and close to public transport.

This means it will be easier for homeowners looking to build or expand, and that people will have access to more types of houses. It also means there will be more multi-storied buildings popping up around our neighbourhoods and city, over time – which will gradually change where and how we live.

Open for submissions

It's time to give your feedback on Proposed Plan Change 33 – Enabling Housing Supply, which implements the direction from the Government in our city plan. Some of these changes are dictated by the Government, especially for buildings of three storeys or less, but other parts we can influence, like what developments of four storeys or more will look like, and where these higher density areas are located.

What's set in concrete



It will soon be easier to build townhouses across the city (medium density)

- No resource consent needed to build up to three dwellings of up to three storeys (11 metres height) on most residential sections
- **Applies from 20 August 2022** to all residential zones (most of the city)
- New rules for how close you can build to your boundary, amount of open space per house, overshadowing, and more
- Resource consent required for four or more dwellings or storeys.

Where will this apply? See ● on the map.

Find out about the rules at tauranga.govt.nz/housing-supply

These changes are dictated by Government.

We want to know what you think about



Making it easier to build apartments within walking distance of shops and facilities (higher density)

- We're proposing that building heights between four and six storeys (16m to 21m) should be enabled in areas within five to 10 minutes' walk (400m to 800m) of some of the city's commercial centres.
- We're proposing that building heights of eight storeys (27m) should be allowed along Cameron Road, as proposed through the Te Papa peninsula spatial plan.
- Resource consent would still be required for developments of four or more storeys, but it would be easier to obtain and you wouldn't need approval from your neighbours if all our rules are met (restricted discretionary activity).

Where would this apply? See ● on the map.

- We will also provide more direction on design and amenity outcomes for residential developments in commercial zones citywide, like apartments built above shops.

Tell us what you think about the areas we've identified and the different heights that would apply at tauranga.govt.nz/housing-supply

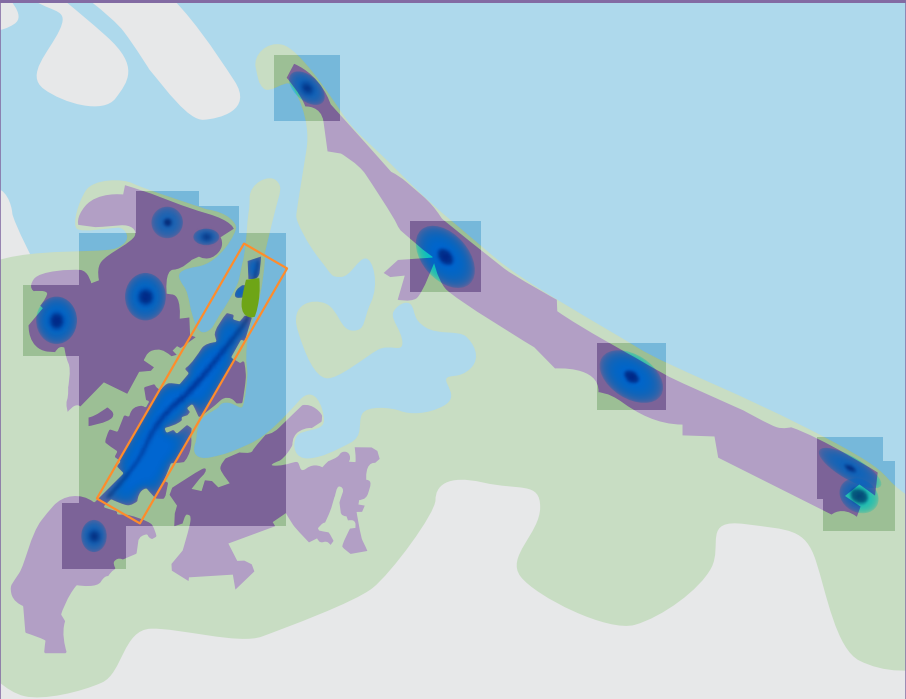
Going higher in the city centre

- We aim to maximise building heights and density in and around the city centre, to enable more people to live in the heart of our city.
- We're proposing building heights of eight storeys (27m) within 1500m (15 minutes' walk) of the city centre.
- Within the city centre, we're proposing to enable building heights up to 48.7m above sea level (approx. 13 storeys) in most locations, with new rules on design to be applied. Anything above that will also need to consider the Tauranga Airport flight path.

Where would this apply? See ● on the map.

Where the changes would apply

Use the map viewer at tauranga.govt.nz/housing-supply to find out which changes will apply to your property, or any other property in the city.



- KEY**
- Tauranga
 - City Centre
 - Te Papa peninsula
 - Medium density in residential zones
 - Higher density in and around commercial centres

There are some places and cases where the new rules may not apply

- **Qualifying matters:** some areas of the city, such as cultural and heritage sites, areas subject to natural hazards, and areas with outstanding natural features like Mauao, are considered unsuitable for higher density development. Find out more at tauranga.govt.nz/housing-supply
- **Existing legislation** such as the Building Act still applies.
- **Covenants** across the city restrict how owners can use their property. These are separate to the city plan and will continue to apply if you have one on your property.



Keeping good design in mind

To ensure new developments look good, meet community needs and are great spaces to live in, we're proposing new urban design criteria that larger developments would have to meet. These would apply to any development of four or more dwellings on a site, and within commercial areas including the city centre. This will be supported by a new urban design panel to review significant development proposals in Tauranga.

Roads and pipes to support growth

Direction from Government limits what rules we can add that would manage the pressure of increased density on our roads and water, wastewater and stormwater pipes. While we can't require checks for three dwellings/three storeys, we are proposing to require assessments on the impact to our infrastructure (roads and pipes) for four or more dwellings.

Find out more and tell us what you think

Submissions are open until Friday 23 September 2022. Find detailed information on the proposed changes and how they will apply to your property at tauranga.govt.nz/housing-supply and tell us what you think.

If you don't have a computer, head over to your local library to use one there for free, or look through the printed information we have available.

Need help making your submission?

If you would like some guidance to lodge a submission, talk to our 'Friend of the submitter'. The friend of the submitter is an independent planner who can advise you on the submission process and how you might present your views in a submission. This free service is provided by the Ministry for the Environment to help the public participate in this plan change. Email PlanChange33@resourceplanning.nz to set up a time to talk.

Any questions?

If you have questions about how these changes may apply to your property, please contact the city planning team on city.plan@tauranga.govt.nz or 07 577 7000.



Tauranga City

20 August 2022



PIKE, LOUISE JANICE
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear Sir/Madam

Proposed Plan Change 33 – Enabling Housing Supply to the Tauranga City Plan

This letter is to let you know that we're amending the Tauranga City Plan to help address our shortage of homes and help our city grow up as well as out.

Passed in December 2021, the Resource Management (Enabling Housing Supply and Other Matters) Amendment Act 2021 directs councils of high-growth cities, including Tauranga, to amend their city plans to enable increased housing density.

Plan Change 33 proposes changes to the City Plan to implement these requirements from central government, which will make it easier for people to build a variety of more compact types of homes, like townhouses and apartments. Exemptions, called qualifying matters, will apply to some areas.

Find out more about the changes and how they may apply to your property

The information enclosed with this letter gives an overview of the changes we're proposing and how you can make a submission on them.

More detailed information, including an online map viewer that shows how the changes would apply to your property, is available at www.tauranga.govt.nz/housing-supply. The map viewer also shows the proposed city plan zoning (medium density residential and higher density residential zones) and the building heights that would apply in any area.

If you don't have access to a computer, head over to your local library to use one there for free. Our library staff will be able to point you in the right direction.

At the library you will also be able to view the plan change information on paper:

- The public notice as published in the Weekend Sun on Friday 19 August 2022 and Bay of Plenty Times on Saturday 20 August 2022
- Background information explaining why we're progressing this plan change
- The complete annotated text and maps showing the proposed changes to the City Plan for each zone, and section 32 evaluation reports explaining the reasons for the proposed changes
- Paper forms to make a submission.

If you rent or lease your property, please notify your tenant or lessee about the contents of this letter.

The proposed plan change has been initiated under the provisions of Schedule 1 of the Resource Management Act 1991.

Tell us what you think: submissions are open until 5pm Friday, 23 September 2022.

Submissions on proposed Plan Change 33 must be lodged in writing and either submitted online at www.tauranga.govt.nz/housing-supply, emailed to city.plan@tauranga.govt.nz or posted to:

Manager: City Planning and Growth
Tauranga City Council
Freepost Authority Number 370
Private Bag 12022
Tauranga 3143

The easiest way to share your feedback is to use the online form on our website. If you choose to send your feedback via letter or email instead, please note that your submission should be in the format of Form 5 of the Resource Management (Forms, Fees and Procedure) Regulations 2003 and must be dated and signed by you and include the following information:

- (a) Your name, address, telephone and email address.
- (b) The plan change number and details of the provisions to which the submission is being made.
- (c) Whether you support or oppose the plan change provisions, in whole or in part.
- (d) Reasons for your support or opposition.
- (e) The decision you wish Tauranga City Council to make.
- (f) Whether you wish to be heard in support of your submission.
- (g) Whether or not you could gain advantage in trade competition through your submission.

For further information regarding the details of the amendments introduced by the proposed plan change contact us on 07 577 7000 or email city.plan@tauranga.govt.nz.

Yours sincerely

The City Planning team

city.plan@tauranga.govt.nz

21 November 2023

Louise Janice Pike
97 LINKS AVENUE
MOUNT MAUNGANUI 3116

Dear Resident/Property Owner,

Upcoming changes for Links Avenue

Improving safety for students travelling along Links Avenue has been a priority for some time. Several initiatives have already been implemented, including constructing pedestrian crossings at Golf Road and Ascot Road, which is currently underway.

We have conducted further investigations to identify additional safety improvements along Links Avenue, considering feedback from the panel. Based on these findings, we have developed a transitional design that includes temporary and permanent changes to address the concerns raised. A transitional approach is temporary and allows for feedback from the community and students before permanent changes are implemented.

As part of our road safety improvement plan, we envision implementing the following by the end of the first quarter of 2024, subject to weather conditions:

- Calming pockets to reduce speeding and protect the existing cycle lane (between Golf Road and Spur Avenue) with planter boxes. Access to driveways and current street parking will be maintained. Separating the bike lane from traffic improves safety for people who bike or scooter along this section. Our preference would be to complete the transitional cycleway to Concord Avenue, but we would like to hear your view. The council will maintain the planter boxes and water them over the summer using water sourced from a council bore.
- Convert the two temporary speed tables currently on either side of Ascot Road to permanent asphalt, enhancing safety for people crossing the road.
- The path outside the school will be widened to provide more space for cyclists, pedestrians, bus passengers, and scooter users. The crossing will also be upgraded as part of the overall improvement work.
- Reducing the hours, the cul-de-sac bus lanes are operational. During weekdays, access is limited from 7 am to 10 am and 2 pm to 6 pm. Following a review of congestion on the state highway during the afternoon peaks, we believe it is possible to reduce the afternoon restrictions from 6 pm to 4 pm. These changes will be in place prior to the Christmas holidays. We will review traffic volumes and safety in the new year and explore options for increased resident access.
- Relocating the bus stop at the Golf Road intersection into the lane. This creates a cycle lane on the inside, which will protect cyclists and slow down traffic. Reducing the number of bus stops, subject to Bay of Plenty Regional Council approval.

We have received several requests from the community regarding issues on Links Avenue.

Residents asked about obtaining exemptions for using Links Avenue bus lane during operational hours. Reducing the impact for directly affected residents living on Links Ave or a connecting street such as between Golf Road and Concord Avenue has continually been explored from the beginning of the trial. Unfortunately, all the potential solutions ran into operational and regulatory constraints.

A recent development has provided a glimmer of hope. The Ministry of Transport has passed new legislation called "Reshaping Streets" that can potentially eliminate some of the regulatory obstacles that may come with some of the possible solutions. We are reviewing the legal and technical options and plan to share them with you in the coming year or earlier.

The request to relocate the Concorde Avenue pedestrian crossing is under review. We are evaluating the options and will proceed with relocation if practical.

Finally, we wish to thank and acknowledge the work of the Links Avenue Panel and the contribution they have made to Links Avenue.

We value your input, whether in favour of or against the proposed changes. Your feedback will help us review the design before seeking approval from the Council in February 2024 for implementation. Please email us your feedback regarding the proposed improvements at linksavenue@tauranga.govt.nz by 15 December 2023.

We are confident these improvements will create a safer and more welcoming environment.

To stay up to date, you can view the latest information or sign up for our Weekly Bulletin on the Links Avenue page at <https://letstalk.tauranga.govt.nz/projects/links-avenue-safety-improvements>.

Warm regards



Karen Hay
Team Leader: Accessible Streets
07 577-7000
linksavenue@tauranga.govt.nz

building inspection report

DATE - 12.5.78

permit no. 117514 type GARAGE

owner B.R. & J.B. GRIGG.

address 97 LINKS

builder SELF

address.

plumber. /

lot 51

val.ref. 7/677

inspection remarks .

completion .

BUILDING APPLICATION FORM

Date 22 APRIL 19 81

To the Borough Inspector,
SIR,

I hereby apply for permission to carry out Building Work as described hereunder:

at 97 LINKS AVE for B. L. & J. B. PRICE
(Owner)

of MOUNT MAUND RANU according to locality plan,
and detailed plans, elevations, cross sections and specifications of building deposited herewith, in
duplicate.

Particulars of Land: Lot No. 51 D.P. 17273 Val. Roll No. 677/677
Area 725 m²

Owners are warned that titles to land may be subject to restrictions affecting building and allied uses and they should investigate such possibilities before proceeding

Type of Building and Description of Work TO EXTEND KARAKE
SCREEN & BLOCK WALLS PERCOLA TYPE ROOF. BROWN BUILT
ROOF.

Particulars of: Foundations 300x300 REINFORCED Walls CONC BLOCKS

Roof LONG RUN BROWN BUILT

Floor Area 10.8 M². Area of Outbuildings M².

Proposed purpose for which every part of Building is to be Used or Occupied

KARAKE BOAT-PORT.

Nature of soil on which building is to be placed SAND.

Estimated Value of completed:

Building \$ 1093:00

Plumbing & Drainage \$ ~~15:00~~

TOTAL \$ 1093:00

IF VALUED AT \$20,000 OR MORE Estimated Date of Commencement: 1 / 5 / 81

Estimated Date of Completion: 1 / 8 / 81

Building Projects Registration No. Expires 19 81

Builder OWNER BUILDER

Yours faithfully

Address 97 LINKS AVE

B. Price

(Owner)

Phone - 56-346

OFFICE USE ONLY

PERMIT FEE:

REC. No.'s

Reserve Contribution Fee

Building 1093 \$ 15-00 6823

Building Permit No. 33377

Plumbing \$

Plumbing Permit No.

Drainage \$

Drainage Permit No.

Building Research Levy \$

Water Connection \$

Permit Authorised *[Signature]*

Kerb Crossing Deposit \$

Date 4-5-81

Vehicular Crossing \$

TOTAL \$ 15-00

BUILDING PERMIT FEES

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable.

Estimated Value of Work				Fees	
				\$	\$
over	500	not exceeding	500	5.00	
"	1,000	and not exceeding	1,000	8.00	
"	2,000	" " "	2,000	15.00	
"	4,000	" " "	4,000	25.00	
"	6,000	" " "	6,000	35.00	
"	8,000	" " "	8,000	45.00	
"	10,000	" " "	10,000	55.00	
"	20,000	" " "	20,000	70.00	
"	30,000	" " "	30,000	90.00	
"	40,000	" " "	40,000	110.00	
"	60,000	" " "	60,000	145.00	
"	80,000	" " "	80,000	180.00	
"	100,000	" " "	100,000	220.00	
"	150,000	" " "	150,000	260.00	
"	200,000	" " "	200,000	300.00	
			250,000	360.00	

For every \$50,000 or part thereof in excess of \$250,000
an additional fee of: 60.00

Special Duties

For inspections required in the case of proposed
structural alteration before plans are submitted
for approval. 10.00

For inspection of old timber before re-using
same in new building. 15.00

For an inspection that may be deemed necessary in
conjunction with any building or work in respect
of which no fee has otherwise been paid. 10.00

For searching drawings and other documents after
the completion of the work. 2.00

In any dispute the Engineer shall have the absolute determination of the
value of such work.

A building research levy is payable at the rate of \$1.00 per 1000 dollars
on all buildings valued \$3000 or more.

PLANS AND SPECIFICATIONS

Together with this application, there should be submitted to the Engineer in duplicate detailed plans,
elevations, cross sections and specifications, which shall together furnish complete details of design
and qualities and description of all material of construction and workmanship, and which shall be of
sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the pro-
posed undertaking.

SPECIFICATIONS FOR BUILDING PERMIT

Name B.R. & J.B. BRIDGE 97 LINKS AVE.

The matters set out herein do not purport to comprise the provisions of a contract.

FOUNDATIONS

Depth and Width of Footings 300 x 300 mm

Thickness of Foundation Walls

Height of Foundation Walls

Type and Spacing of Under Floor Ventilators

Depth and Thickness of Chimney Footings

Type of Damp Proof Course

Foundation Blocks 400 x 150 mm

Height from Floor to Ceiling

SCHEDULE OF TIMBER	Size of Timber	Type of Timber	Spacing of Joists, Studs, Rafters, Purlins
Bottom Plates	LONG STUDS SHORT STUDS		
Sleeper Plates			
Jack Studs			
Floor Joists			
Flooring			CONCRETE.
Studs			
Wall Bracing			
Dwangs			
Top Plates	150 x 50	R/S TREATED PINE	
Ceiling Joists	200 x 50	" " "	
Runners over Ceiling Joists			
Roof Struts			
Collar Ties			
Exterior Sheathing	CONC BLOCK & SCREEN BLOCKS		
Internal Lining	N.A.		
Architraves			
Door and Window Facings			
Door (Height and Width)	3.6 WIDE	2.55m HIGH	
Trimmers over Doors and Windows	200 x 50	R/S TREAT. PINE.	
Rafters			
Purlins			
Ridge, Hip and Valley Boards			
Roofing	LOWE RUN	BROWN BIKT.	
Distance from Boundaries	Front 5.9	Back 8.9	Side 2.5 - 1.67
Windows — Percentage of Floor Area	NONE.		
Drainage	1 SOAK HOLE.		
Spouting	MARLEY PVC		
Provision for Storage of Food	N.A.		

STUCCO ON TIMBER FRAME

Type of Backing

Mixture of Stucco

Thickness of Stucco

WALL VENEER:

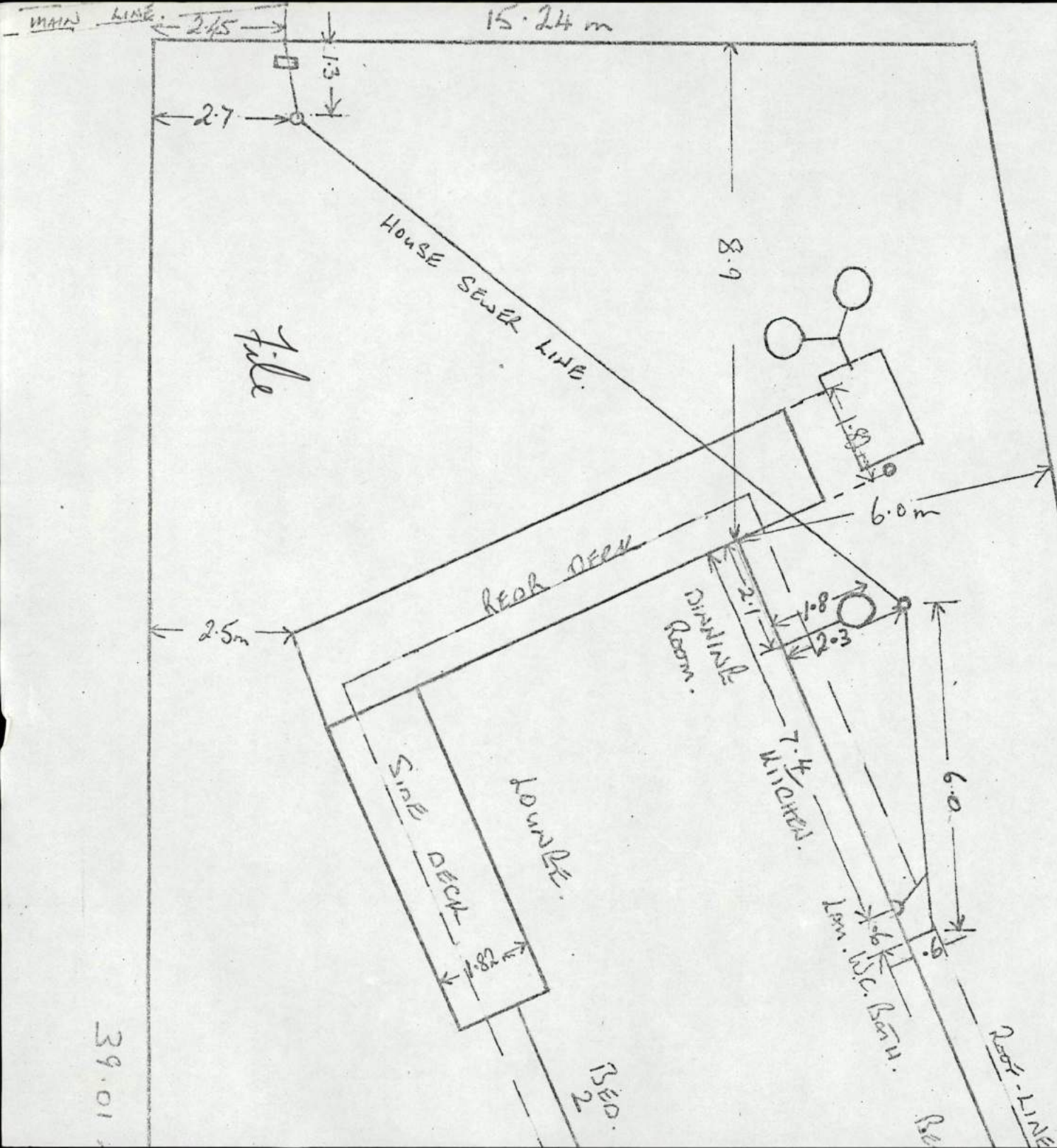
Type and Size of Bricks

Air Space Between Timber & Veneer

Veneer Ties

Signature of Applicant

B. R. Bridge



SITE PLAN.
 B.R. & J.B. BRIBB
 97 LINKS AVE.
 MOUNT MAUN LAWU.

LOT 51
 D.P.S. 17273
 MT MAUN LAWU.

AREA 725 m³

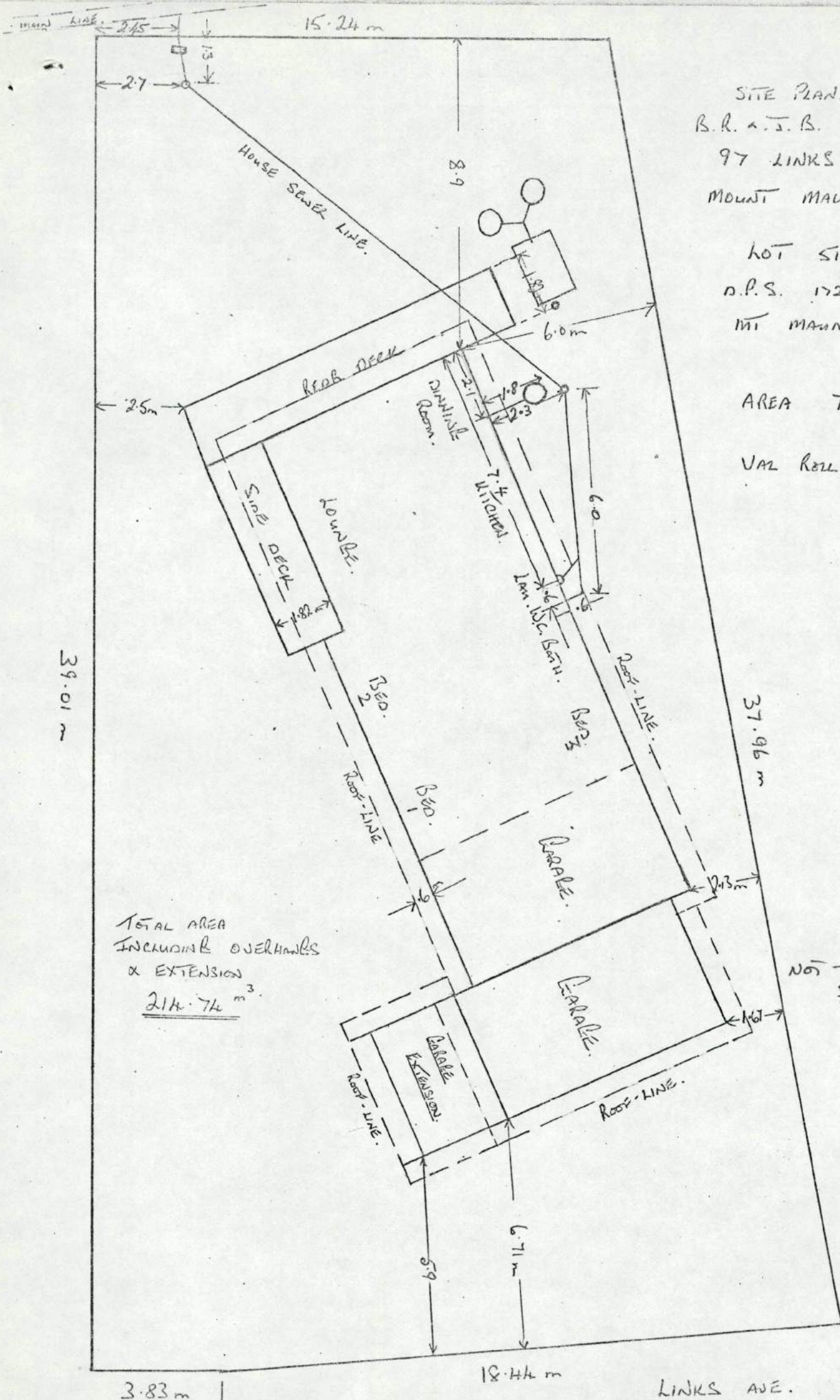
VAL ROLL NO. 677/677

SCALE 1:100.



39.01

37



SITE PLAN.
 B.R. & J.B. BRIBB
 97 LINKS AVE.
 MOUNT MAUNELAWAI.

LOT 51
 D.P.S. 17273
 MT MAUNELAWAI.

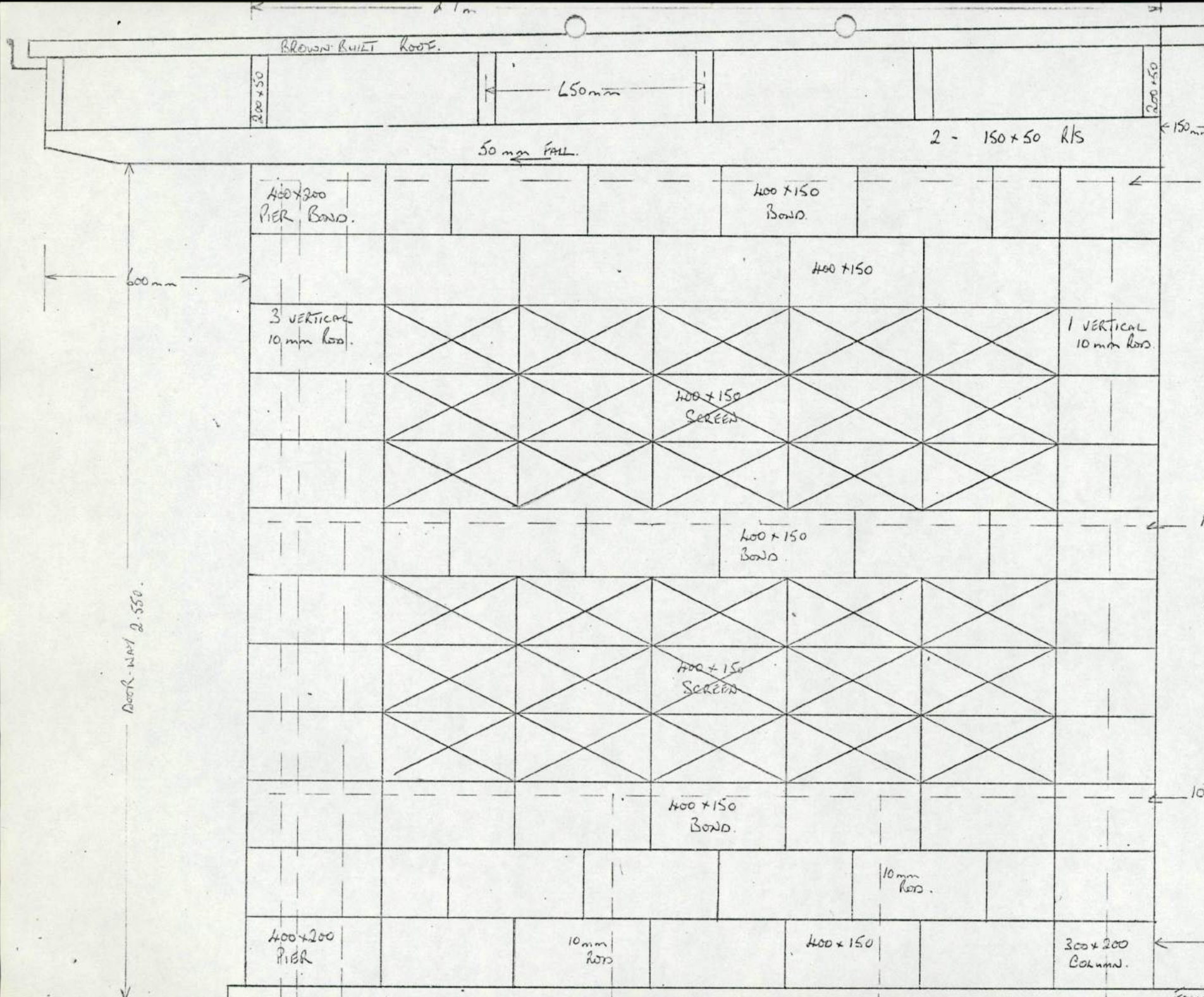
AREA 725 m³

VAL ROLL NO. 677/67

TOTAL AREA
 INCLUDING OVERHANGS
 & EXTENSION
214.74 m³

NOT TO
 SCALE

LINKS AVE.



EXISTING GARAGE EYE.

GARAGE EXTENSION
SIDE VIEW
FROM ROAD-WAY.

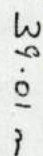
B.R. & J.B. PRILL
97 LINKS AVE

EXISTING GARAGE WALL.

FOUNDATIONS.

LOT 51
D.P.S. 17273
MI MANNA LAU.

VAZ Roll No. 677/677

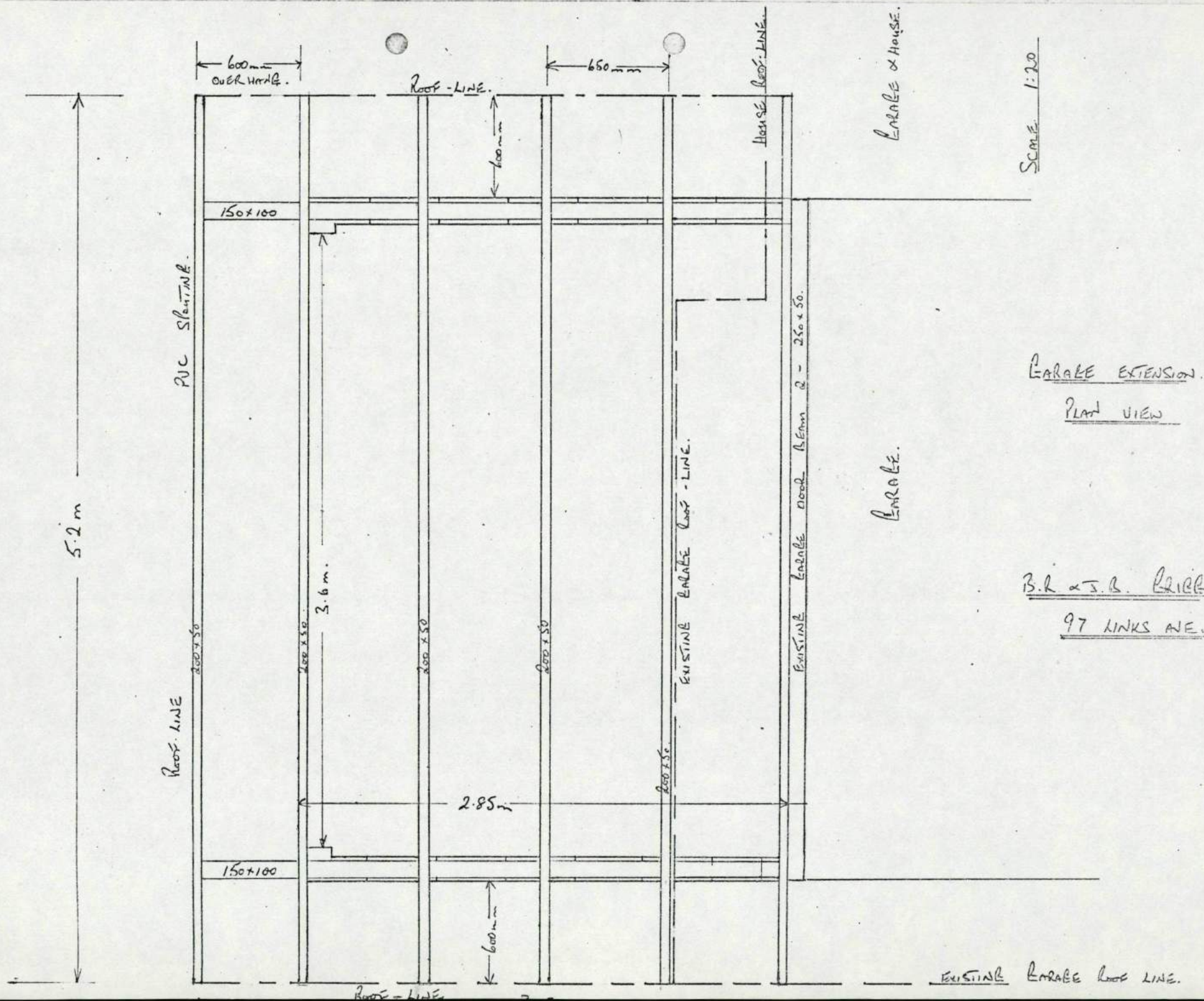


TOTAL AREA
INCLUDING OVERHANGS
& EXTENSION
214.74 m³.

SCALE. 1: 100

LINKS AVE.

2 →



200x50 BEAMS Z NAILED TO 150x50.

200x50 BEAM

2- 150x50 BEAMS

10mm L&V BOLT

50x10mm PLAT STEEL
CHECKED INTO 150x50

10mm BAR
PLATE WELDED

TOP BOND BEAM

DETAIL.

5.2m

BLOWN BUILT ROOF.

200x50 R/S.

2- 150x50 R/S

DOOR-WAY CLEARANCE

2.550m

400x200 PIER BLOCK

400x200 PIER BLOCK

3.6m

300x200 FOOTING
2- 10mm BARS

300x300 FOOTING
3- 10mm BARS

FLOOR

GARAGE EXTENSION.

DOOR-WAY.

END VIEW.

B.R. & J.B. MILL

97 LINKS AVE.

building inspection report

23-7-76
DATE -

permit no. 13080 type. PERGOLA

owner. B. GRIGG.

address. 97 LINKS AVE.

builder. "

address.

plumber.

lot. 51

val. ref. 7/677

inspection remarks.

Complete

completion.

BUILDING APPLICATION FORM

Date 20TH JULY 1976To the Borough Inspector,
SIR,

I hereby apply for permission to carry out Building Work as described hereunder:

at 97 LINKS AVE MOUNT for B.R. & J.B. GRILL
(Owner)
of 97 LINKS AVE MOUNT according to locality plan,
and detailed plans, elevations, cross sections and specifications of building deposited herewith, in
duplicate.Particulars of Land: Lot No. 51. D.P. OPS 17273
Area 725 M² Val. Roll No. 677/677Type of Building and Description of Work TO CONSTRUCT PERGOLA OVER
REAR SUN DECK.Particulars of: Foundations 100x75 POSTS SET IN CONC Walls _____
Roof 150x50, ROUGH SAWN BEAMS.
109.83 m² HOUSE M².
Area of Ground Floor 29.37 m² DECK M². Area of Outbuildings _____ M².

Proposed purpose for which every part of Building is to be Used or Occupied

SUN DECK.Nature of soil on which building is to be placed SAND.

Estimated Value of completed:

Building	\$ <u>164</u> : 00
Plumbing & Drainage	\$ <u>200</u> : 00
TOTAL	\$ <u>164</u> : 00

IF VALUED AT \$20,000 OR MORE Estimated Date of Commencement: 1 / 1 / 1Estimated Date of Completion: 1 / 1 / 1

Building Projects Registration NO _____ Expires 19 _____

Builder B.R. GRILL Yours faithfully,
Address 97 LINKS AVE. B. R. GRILL (Owner)Phone - 56-346.

OFFICE USE ONLY

PERMIT FEE:

		REC. No.'s
Building	\$ <u>1</u>	<u>406</u>
Plumbing	\$	
Drainage	\$	
Building Research Levy	\$	
Water Connection	\$	
Kerb Crossing Deposit	\$	
Vehicular Crossing	\$	
TOTAL	\$ <u>1</u>	

Building Permit No. 13080Plumbing Permit No. /Drainage Permit No. /Permit Authorised [Signature]Date 23.7.76

BUILDING PERMIT FEES

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable.

Estimated Value of Work				Fees		
				\$ c		
Not exceeding	\$20					.50
Over	\$20	and not exceeding	<u>\$200</u>			1.00
"	\$200	"	\$400			2.00
"	\$400	"	\$600			3.00
"	\$600	"	\$800			4.00
"	\$800	"	\$1,000			5.00
"	\$1,000	"	\$1,200			6.00
"	\$1,200	"	\$1,400			7.00
"	\$1,400	"	\$1,600			8.00
"	\$1,600	"	\$1,800			9.00
"	\$1,800	"	\$2,000			10.00
"	\$2,000	"	\$2,500			12.00
"	\$2,500	"	\$3,000			14.00
"	\$3,000	"	\$3,500			16.00
"	\$3,500	"	\$4,000			18.00
"	\$4,000	"	\$5,000			21.00
"	\$5,000	"	\$6,000			24.00
"	\$6,000	"	\$7,000			27.00
"	\$7,000	"	\$8,000			30.00
"	\$8,000	"	\$9,000			33.00
"	\$9,000	"	\$10,000			36.00
"	\$10,000	"	\$12,000			40.00
"	\$12,000	"	\$14,000			44.00
"	\$14,000	"	\$16,000			48.00
"	\$16,000	"	\$18,000			52.00
"	\$18,000	"	\$20,000			56.00
"	\$20,000	"	\$25,000			64.00
"	\$25,000	"	\$30,000			72.00
"	\$30,000	"	\$35,000			80.00
"	\$35,000	"	\$40,000			88.00
"	\$40,000	"	\$50,000			98.00
"	\$50,000	"	\$60,000			108.00
"	\$60,000	"	\$70,000			118.00
"	\$70,000	"	\$80,000			128.00
"	\$80,000	"	\$90,000			138.00
"	\$90,000	"	\$100,000			148.00
"	\$100,000	"	\$120,000			158.00
"	\$120,000	"	\$140,000			168.00
"	\$140,000	"	\$160,000			178.00
"	\$160,000	"	\$180,000			188.00
"	\$180,000	"	\$200,000			198.00
"	\$200,000	"	\$240,000			210.00
"	\$240,000	"	\$280,000			220.00

For every \$40,000 or part thereof in excess of \$280,000, an additional fee of \$10.

In any dispute the Engineer shall have the absolute determination of the value of such work.

A building research levy is payable at the rate of 50 cents per 1000 dollars on all buildings valued \$3,000 or more.

PLANS AND SPECIFICATIONS

Together with this application, there should be submitted to the Engineer in **duplicate** detailed plans, elevations, cross sections and specifications, which shall together furnish complete details of design and qualities and description of all material of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking.

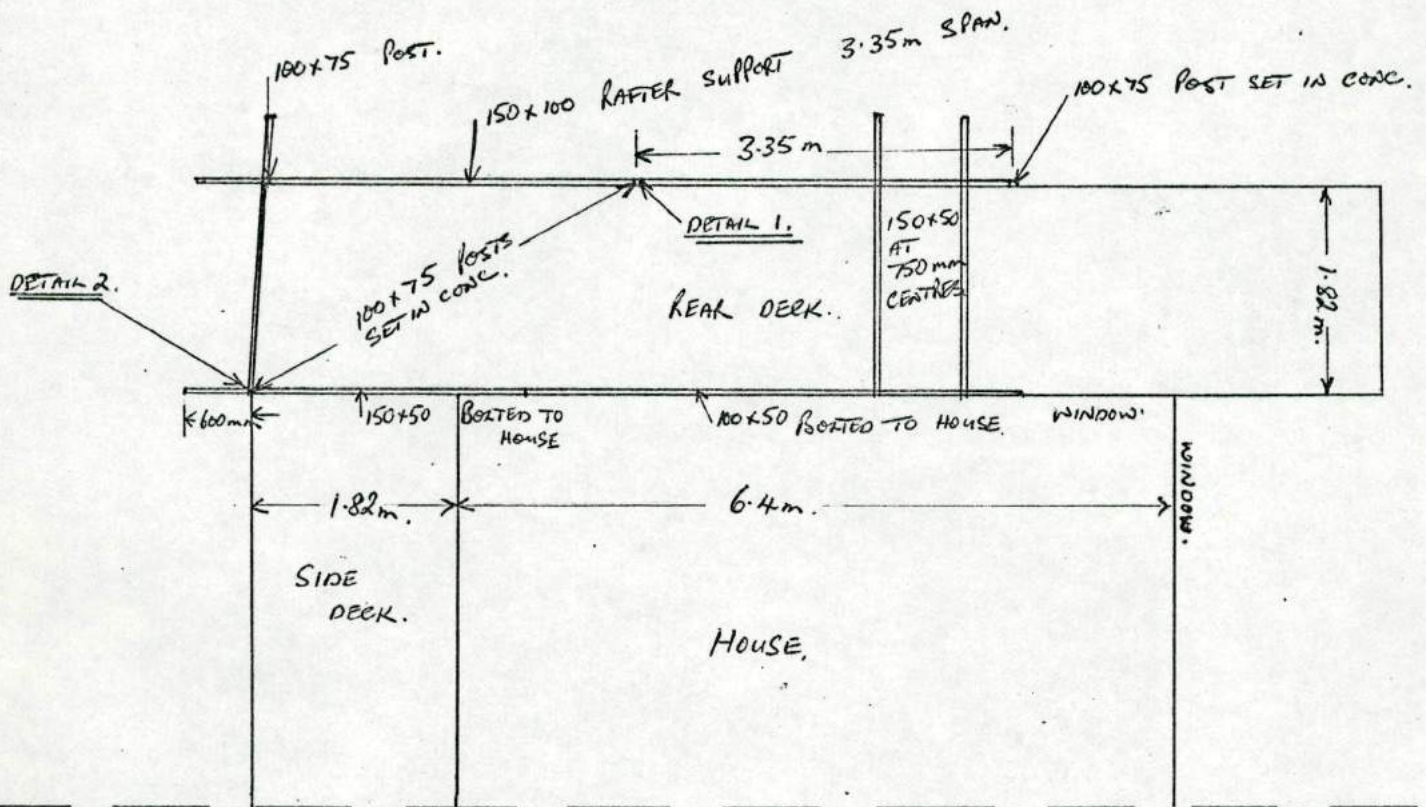
B.R. & J.B. BRILL.

97 LINKS AVE.

MT. MAUNALANI.

PERGOLA OVER REAR DECK.

LOWER EDGE OF 150x150 BEAMS 2'3" ABOVE DECK.

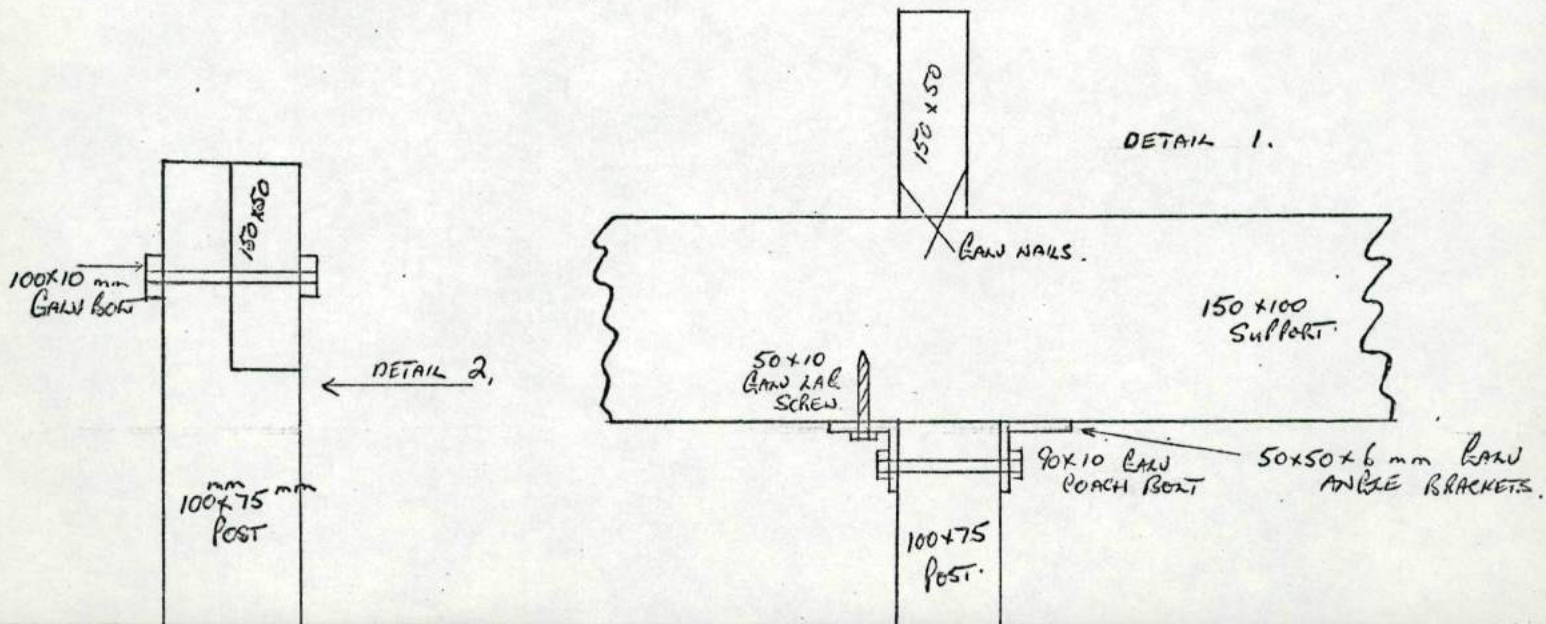


NOTE.

ALL TIMBER GROUND TREATED.

CONSTRUCTION DETAILS.

SCALE, $\frac{1}{4}" = 1'$



15.24 m.

SITE PLAN.

B.R. & J.B. BRILL

97 LINKS AVE.

LOT 51

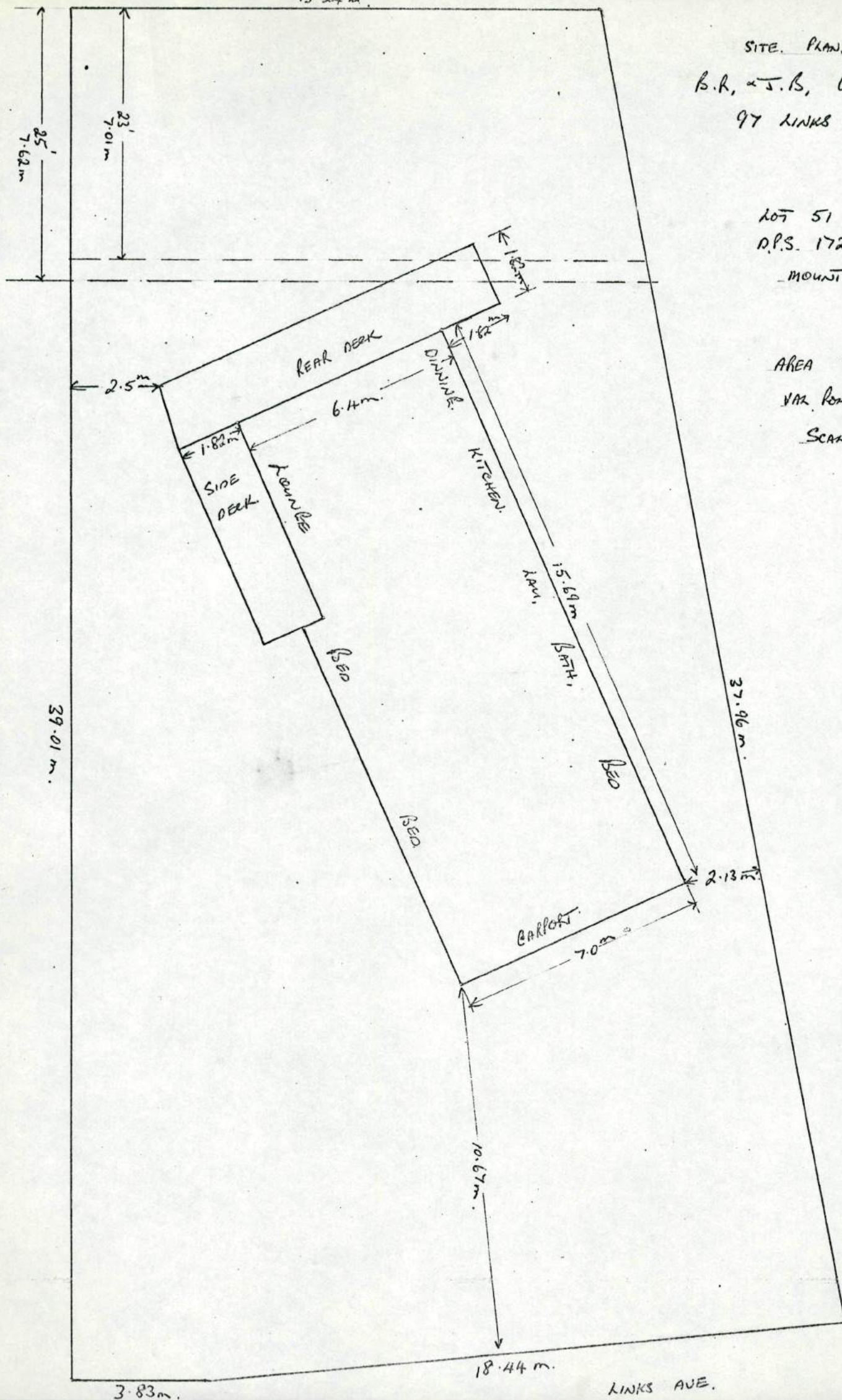
D.P.S. 17273

MOUNT MAUNAHANUI

AREA 725 m².

VAR. PERM NO 677/677

SCALE 1" = 8 FT.



BUILDING INSPECTION REPORT

P3530-97-1
DATE 23/5/85

PERMIT N° 34511 TYPE Avg Alt.
masport Fur

OWNER B.R.-J.B. Grigg

ADDRESS 97 Links Ave

BUILDER Self

ADDRESS As Above

PLUMBER N/A

DRAINLAYER "

LOT 51 VAL. REF. 6773/200

INSPECTION REMARKS

General inspection: O/K

Complete. 20-5-86

[Signature]

BOROUGH OF MOUNT MAUNGANUI
BUILDING APPLICATION FORM

Date 15 MAY 1985

TO THE BOROUGH INSPECTOR

I hereby apply for permission to carry out building work as described hereunder.

At 97 LINKS AVE for B.R. & J.B. GRILL (owner)

of _____ according to locality plan and detailed plans, elevations, cross sections and specifications of buildings deposited herewith in duplicate.

PARTICULARS OF LAND: Lot No. 51 D.P. 17273
Valuation Roll No. 687/677673/20 Area 726

Owners are warned that titles to land may be subject to restrictions affecting building and allied uses and they should investigate such possibilities before proceeding.

TYPE OF BUILDING AND DESCRIPTION OF WORK TO REMOVE RASH SLIDER & WINDOW
FIT BAY WINDOW, FIT MASPORT WOODFIRE IN CORNER

PARTICULARS OF: Foundations BLOCK PILES, TIM. Walls TIMBER & FIBRO. PLANK
Roof IRON Floor area _____ m²
Area of outbuildings NIL m²

Proposed purpose for which every part of building is to be used or occupied

Nature of soil on which building is to be placed _____

ESTIMATED VALUE OF COMPLETED: Building \$ 2830.00
Plumbing and Drainage \$ NIL
TOTAL \$ 2830.00.

IF VALUED AT \$20,000 OR MORE:

Estimated date of commencement / / Estimated date of completion / /

Building Projects Registration No. _____ Expires _____

BUILDER B.R. GRILL

ADDRESS 97 LINKS AVE PHONE NO. 56.346

OFFICE USE ONLY

PERMIT FEE	Rec. No.
Building <u>\$2830.00.</u>	<u>\$35.00</u>
Plumbing	
Drainage	
Building Research Levy	
Sewer Connection	
Water Connection	
Berm Reinstatement	
Vehicular Crossing	
TOTAL	\$ _____

Reserve Contribution Fee _____
Building Permit No. 34511
Plumbing Permit No. N/A
Drainage Permit No. N/A

Permit Authorised: OK
Date 23-5-85

BUILDING PERMIT FEES

ESTIMATED VALUE OF WORK EXCLUDING ANY AMOUNT UPON WHICH DRAINAGE AND PLUMBING FEES ARE PAYABLE

Estimated Value of Work				Fees	
\$				\$	\$
		Not exceeding		1,000	15
Over	1,000	and not exceeding		2,000	25
"	2,000	" "	"	4,000	35
"	4,000	" "	"	6,000	50
"	6,000	" "	"	8,000	65
"	8,000	" "	"	10,000	75
"	10,000	" "	"	15,000	90
"	15,000	" "	"	20,000	100
"	20,000	" "	"	30,000	125
"	30,000	" "	"	40,000	150
"	40,000	" "	"	50,000	200
"	50,000	" "	"	60,000	225
"	60,000	" "	"	70,000	250
"	70,000	" "	"	80,000	275
"	80,000	" "	"	90,000	300
"	90,000	" "	"	100,000	325
"	100,000	" "	"	150,000	350
"	150,000	" "	"	200,000	420
"	200,000	" "	"	300,000	570
"	300,000	" "	"	400,000	710
"	400,000	" "	"	500,000	850

For every \$100,000 or part thereof in excess of \$500,000 an additional fee of 100

SPECIAL DUTIES

For inspections required in the case of proposed structural alteration before plans are submitted for approval 15

For inspection of old timber before reusing same in new building 20

For an inspection that may be deemed necessary in conjunction with any building or work in respect of which no fee has otherwise been paid 15

For searching drawings and other documents after the completion of the work 2

For checking structural calculations 50% of appropriate permit fee (this fee is credited if the permit is uplifted)

In any dispute the Engineer shall have the absolute determination of the value of such work.

Building research levy is payable at the rate of \$1 per \$1,000 on all buildings valued at \$10,000 or more.

PLANS AND SPECIFICATIONS

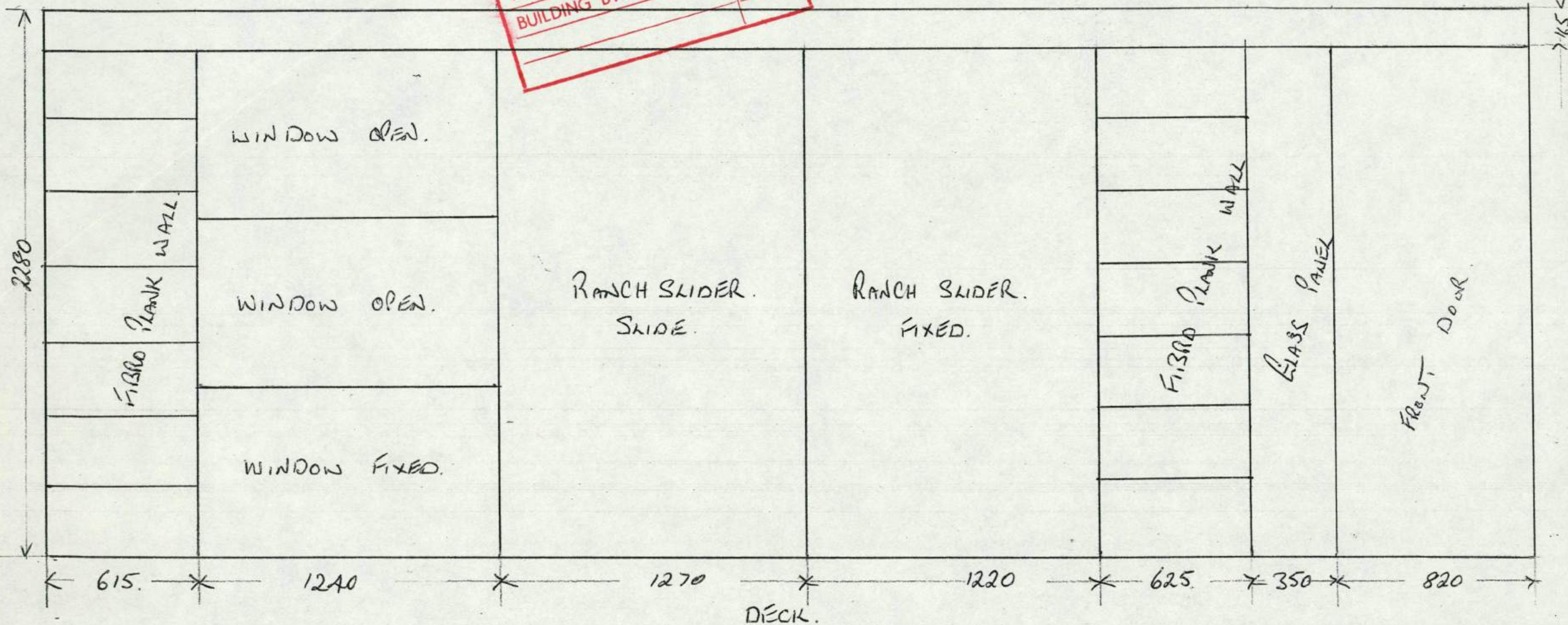
Together with this application, there should be submitted to the Engineer in duplicate detailed plans, elevations, cross sections and specifications, which shall together furnish complete details of design and qualities and description of all material of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking.

20-5-85

DATE REC'D	
TECH. SUB COMM. O.K.	/
P. & D. O.K.	/
TOWN PLANNING O.K.	/
BUILDING BYLAWS O.K.	/

B.R. & J.S. GRILL

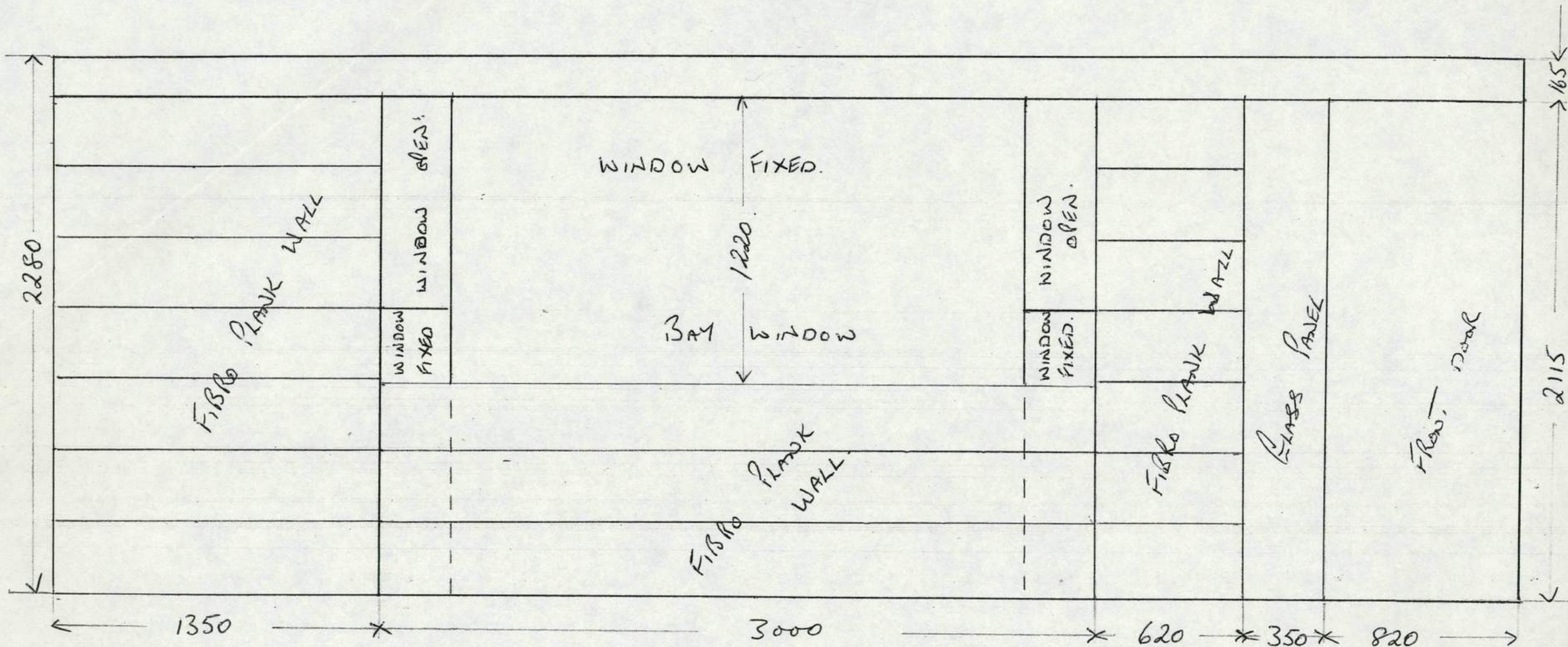
97 LINKS AVE. MT. MAINE



LOUNGE WALL WEST VIEW. AS ORIGINAL CONSTRUCTION

SCALE. 1-20.

B. R. & J. B. GRILL
 97 LINKS AV. MT. MAUNALEAHI



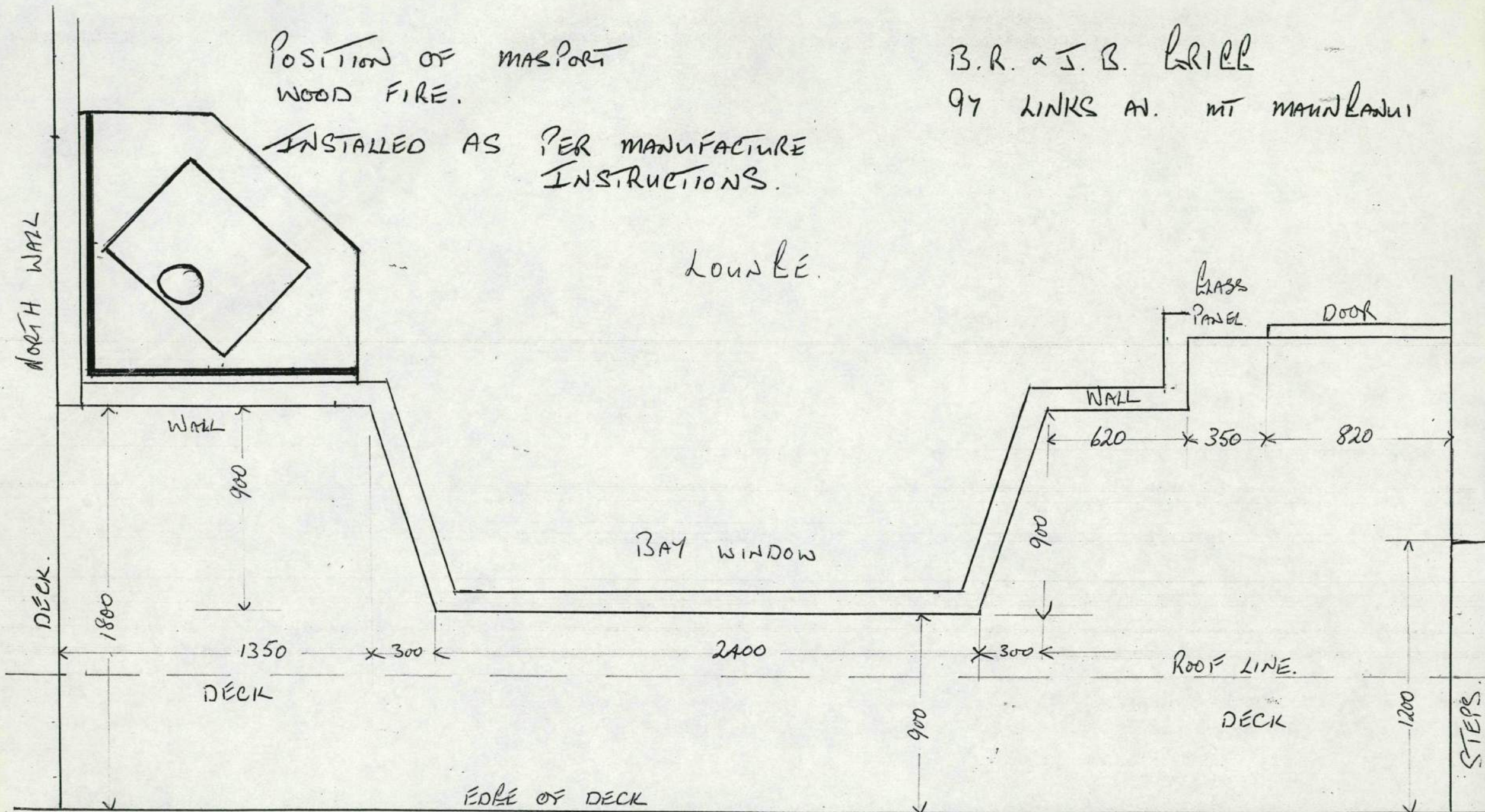
PROPOSED LOUNGE WALL WITH BAY WINDOW IN PLACE OF RANCH SLIDER.
 WEST VIEW.

SCALE 1-20.

INSTALLED AS PER MANUFACTURE INSTRUCTIONS.

B. R. & J. B. LRIER
97 LINKS AV. MIT MANNKASU

Louise.



N ←

BAY WINDOW IN
PLACE OF RANCH SLIDER.

PLAN VIEW.

SCALE 1-20.

SPECIFICATIONS FOR BUILDING PERMIT

Name B.R. & J.B. BRILL 97 LINKS AV. MT.

The matters set out herein do not purport to comprise the provisions of a contract.

FOUNDATIONS

Depth and Width of Footings _____

Thickness of Foundation Walls _____

Height of Foundation Walls _____

Type and Spacing of Under Floor Ventilators _____

Depth and Thickness of Chimney Footings _____

Type of Damp Proof Course _____

Foundation Blocks _____

Height from Floor to Ceiling _____

SCHEDULE OF TIMBER	Size of Timber	Type of Timber	Spacing of Joists Studs, Rafters, Purlins
Bottom Plates	100 x 50.	BORED PINE	
Sleeper Plates			
Jack Studs			
Floor Joists			
Flooring	PARTICLE BOARD		
Studs	100 x 50	BORED PINE	
Wall Bracing	2x4x8 STEEL ANGLE		
Dwangs	100 x 50	BORED PINE	
Top Plates	100 x 50	BORED PINE	
Ceiling Joists	NIL		
Runners over Ceiling			
Joists	NIL		
Roof Struts	NIL		
Collar Ties			
Exterior Sheathing	FIBRO-PLANK		
Internal Lining	RIB BOARD		
Architraves			
Door and Window Facings	ALUMINIUM		
Door (Height & Width)	NIL		
Trimmers over Doors and Windows			
Rafters			
Purlins			
Ridge, Hip and Valley Boards			
Roofing			

Distance from Boundaries Front 5.9 Back 8.9m Side 2.5m 1.67m

Windows - Percentage of Floor Area _____

Drainage _____

Spouting _____

Provision for Storage of Food _____

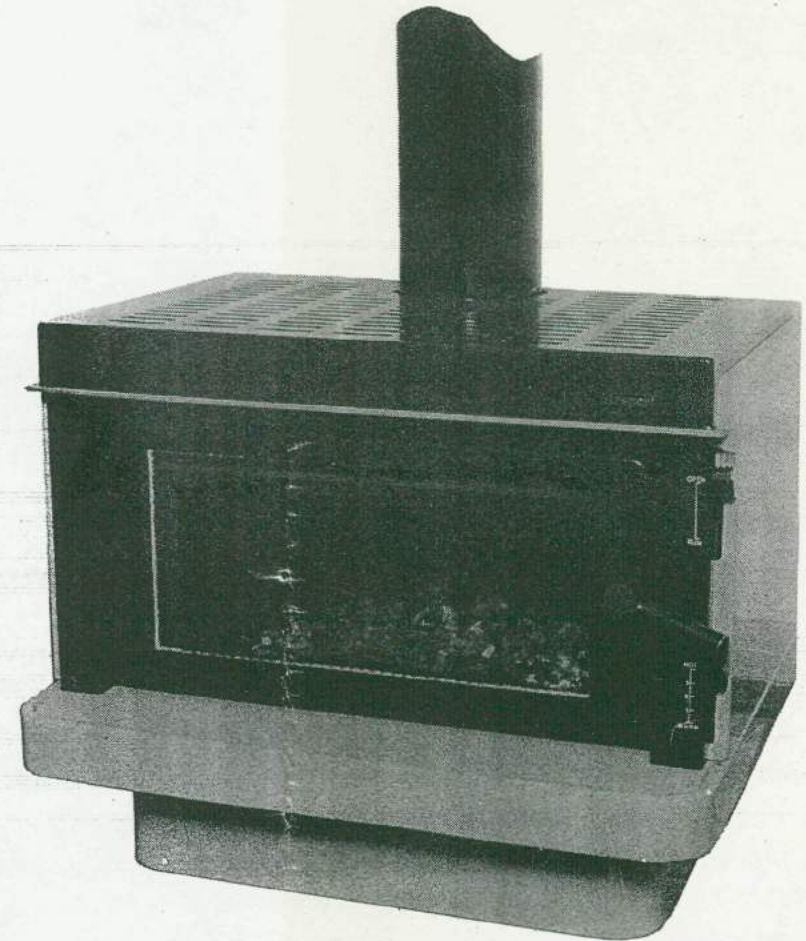
STUCCO ON TIMBER FRAME Mixture of Stucco _____

Type Of Backing _____ Thickness of Stucco _____

WALL VENEER: Air Space Between Timber & Veneer _____

Type and Size of Bricks _____ Veneer Ties _____ Signature B. Brill

'PANORAMA' WOOD FIRE INSTALLATION INSTRUCTIONS



The PANORAMA Wood Fire is manufactured by
Mason and Porter Ltd, 1-37 Mt Wellington
Highway, P.O. Box 14-349 Panmure, Auckland.

C84584

Masport[®]

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Installation — Wood Fire	5
Brick Wall Screens	6
Floor Protection	7
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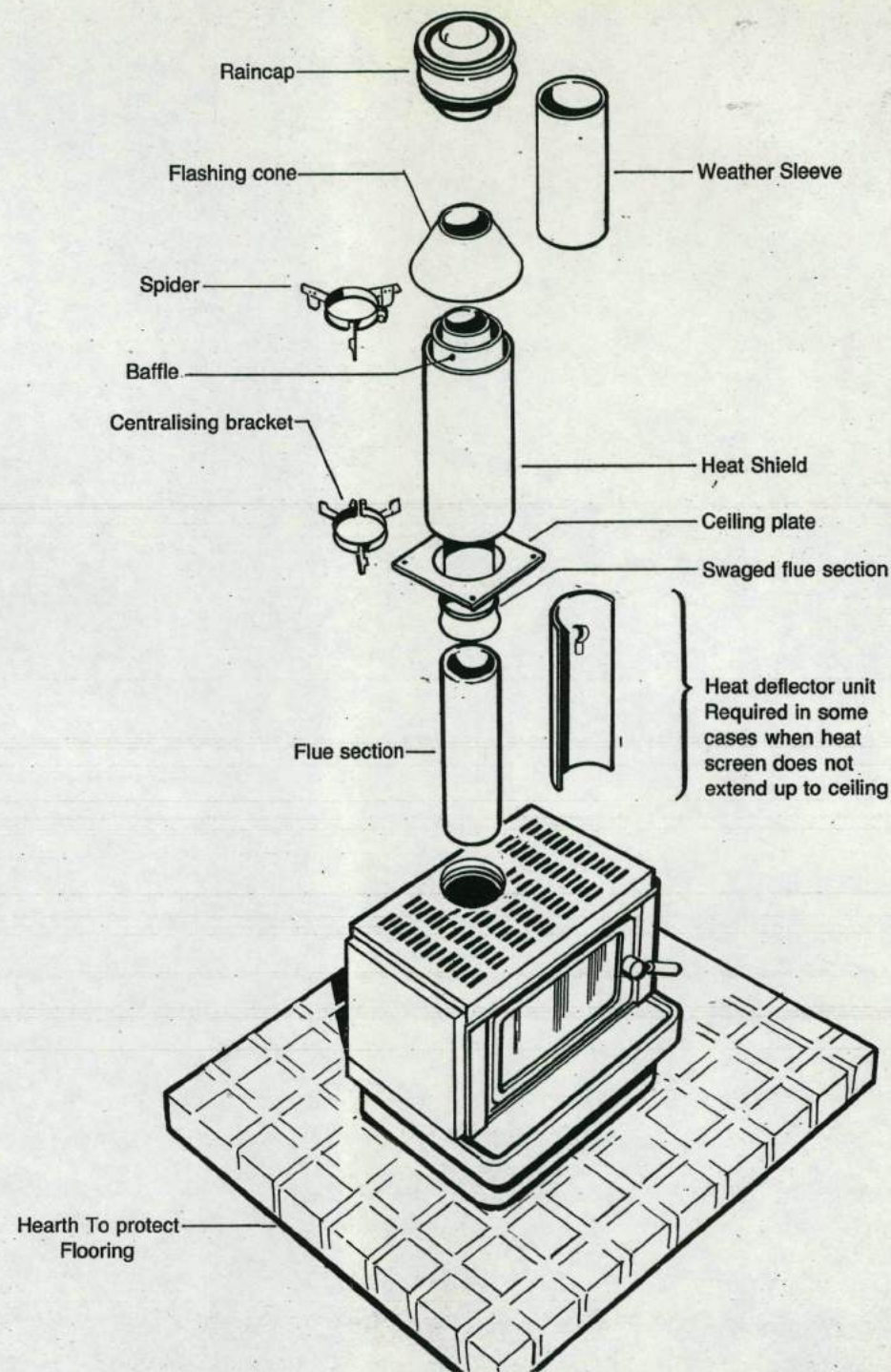
INTRODUCTION

These installation instructions are based on New Zealand Standard 7421 (as revised to January 1984). Independent testing has established that the Masport Panorama Wood Fire will meet the requirements of that Standard if the following installation instructions are followed.

As building Codes may vary from district to district, we recommend that you consult your local Building Inspector regarding any special requirements that must be met.

WE RECOMMEND THAT THE INSTALLATION OF YOUR 'PANORAMA' WOOD FIRE BE CARRIED OUT BY A SUITABLY QUALIFIED SPECIALIST INSTALLER.

Please ensure that only genuine Masport components are used when installing your PANORAMA, as substitutes may affect its performance and could even nullify compliance with the Standard.



INSPECTION

Before proceeding with the installation, check that the Firebox Ceiling and the Bypass Wall have not been dislodged during transit, that the Bypass Door is seated correctly in its hinges and that it responds properly to movement of the Bypass Selector (the upper control lever).

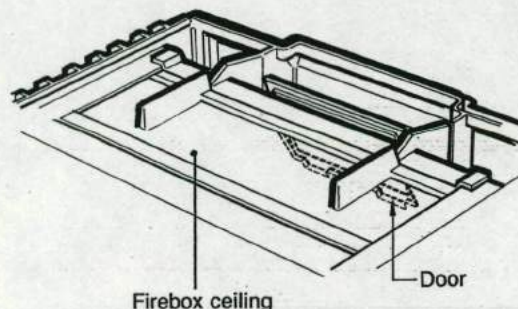


TABLE 1

MINIMUM WALL CLEARANCES (millimetres) WITH THE WOOD FIRE PARALLEL TO THE WALL

WALL CONSTRUCTION	STANDARD FIRE		With Stage 1 SHIELDING KIT		With Stage 2 SHIELDING KIT	
	Side	Rear	Side	Rear	Side	Rear
CONCRETE (With no internal timber)	100	100	NO SHIELDING REQUIRED		NO SHIELDING REQUIRED	
BRICK (With no internal timber)	100	100				
BRICK (With internal timber)	260	320	240	200	240	80
HEAT SENSITIVE MATERIALS (See below)	325	400	300	250	300	100

Heat sensitive materials include: Timber, asbestos cement board, plaster board, gypsum plaster etc. The fitting of a sheet metal panel in contact with these materials does not make them in any way less sensitive to heat.

PLACEMENT

The siting of your PANORAMA should be decided after inspecting the ceiling area and roof to determine any possible restrictions on the flue position. The plumbing requirements for the water heating booster should be studied if this is to be fitted. (See page 14).

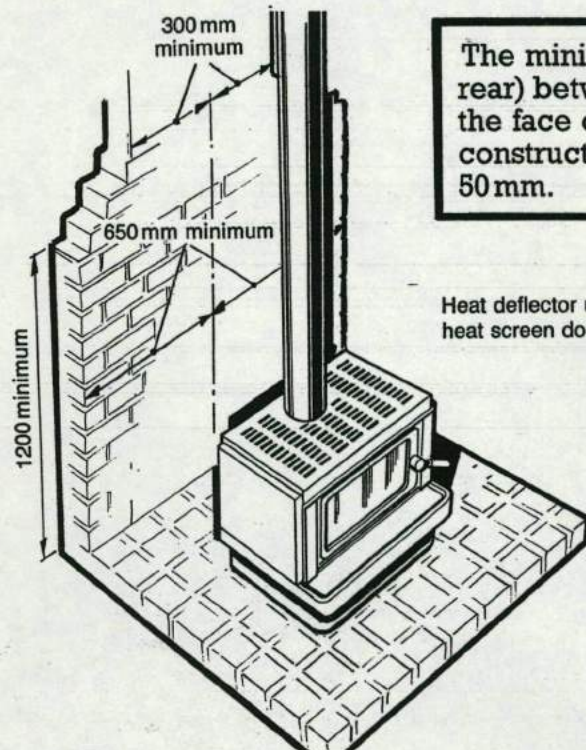
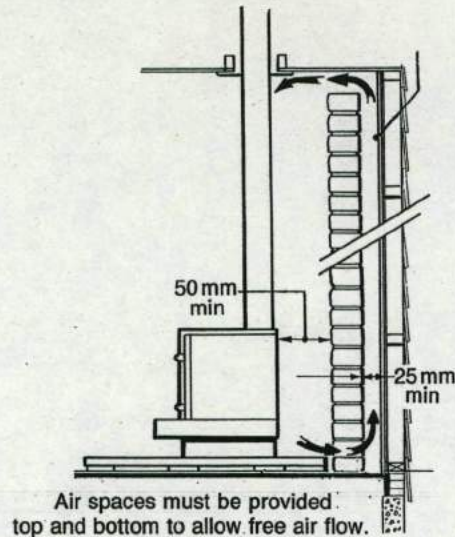
INSTALLATION

Wall Clearances. In order to ensure that the walls do not become excessively hot, it will be necessary to maintain an air space behind the Wood Fire and between the sides of the Fire and any adjacent walls. Furnishings and any other heat sensitive objects must also be kept away from the Fire by the same distances.

No wall or other immovable object must be closer than one metre to the front of the Fire. Back and side clearances are measured from the rear and the side of the PANORAMA cabinet respectively. The clearances needed can be reduced significantly by fitting Stage 1 or Stage 2 Shielding Kits as desired. The Stage 1 Kit contains a 600mm Flue Heat Deflector, while the Stage 2 Kit has a 1200mm Flue Heat Deflector and a Rear Shield. Both Kits are optional extras available from your Masport dealer and they

contain full instructions for fitting. The appropriate clearances are listed in Table 1.

Brick Wall Screens. A heat sensitive wall may be protected by a screen made of kiln-fired or concrete bricks (laid on the flat). A ventilated air space at least 25mm wide must be provided between the bricks and the wall. The air space must be unobstructed at the top to allow free air flow, and air entry slots (totalling at least 15,000 square mm) must be provided at intervals along the bottom.

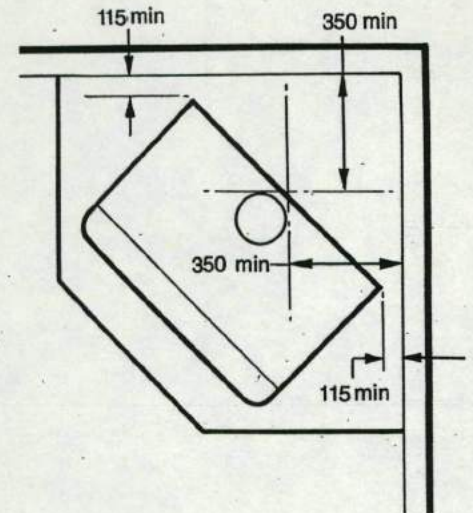


The minimum spacing (side or rear) between the cabinet and the face of a properly constructed brick screen is 50 mm.

Heat deflector unit Required in some cases when heat screen does not extend up to ceiling

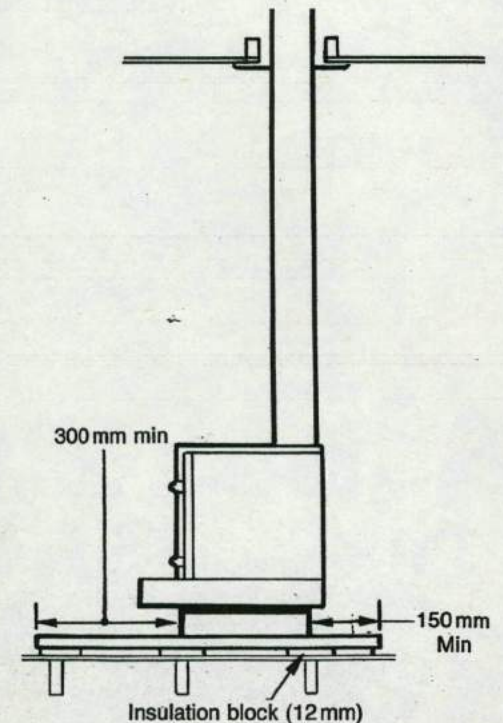
The main body of the screen must be at least 1200mm high and must extend along the wall(s) at least 650mm each side of the centre line of the Fire. The portion of the screen shielding the flue must rise to within 50mm of ceiling height and must extend at least 300mm each side of the flue centreline on any wall within 275mm of the flue. If the brick wall screen does not fulfil the above requirements it shall be regarded as non-existent when spacing the Fire from the wall.

Corner Installation. Diagram shows the minimum clearances between heat sensitive walls and the corners of the cabinet and the flue when the PANORAMA Wood Fire is placed at 45° in a corner setting. No Shielding Kit is necessary in this case.

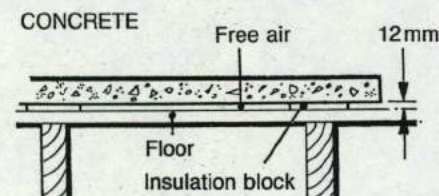


FLOOR PROTECTION

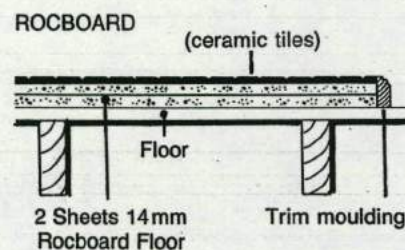
Unless the Wood Fire will be standing on a fireproof floor which extends to the wall(s) and at least 200mm to each side of, and 300mm forward from its base, it will be necessary to provide a heat resistant hearth to cover at least that area of floor. (For an 'island' installation the fireproof floor or the hearth must extend at least 150mm rearward from the base of the Fire).



Hearth Construction. Hearths of solid material such as a cast concrete slab can conduct heat through to the floor if they are in contact with it, so they must be elevated on insulating blocks to form an air gap at least 12mm high. The blocks, about 100mm square, should be placed directly over the floor joists, leaving at least half of the perimeter of the air space unobstructed so that the air can move through freely. If there may be carpet laid up to the hearth subsequently, the air space should be made 25mm high so that it will not be obstructed.



In cases where the hearth is constructed of less rigid material, an alternative to the air space beneath the hearth is to place the hearth on a sheet of 14mm thick Rocboard, (for timber planked floors), or on two sheets of Rocboard for particle board floors. An information pamphlet on the use of Rocboard is available from New Zealand Forest Products Ltd, or their agents. In all cases, to prevent movement of the hearth in an earthquake, it should be located inside steel angle brackets screwed securely to the floor.



INSTALLING THE FLUE

The standard Flue Kit for the PANORAMA Wood Fire contains

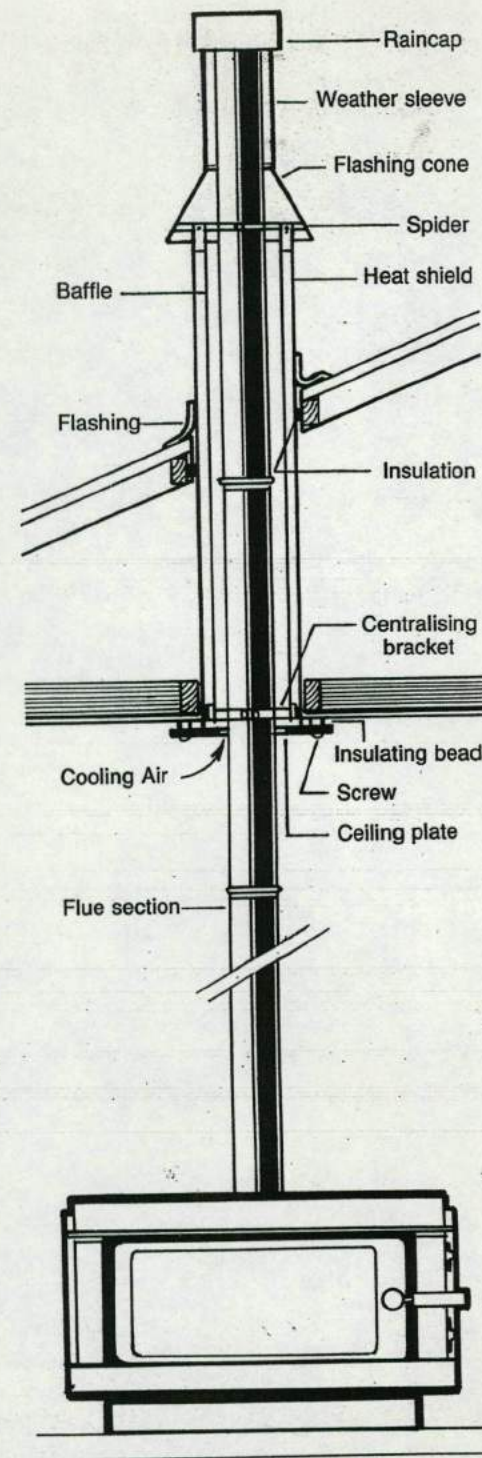
sufficient components for an installation where the ceiling height is 2400mm and the distance from the ceiling to the point of penetration through the roof is not excessive. Should you need extra lengths of various components, they are readily obtainable from your Masport Dealer.

Note: Details of special flue arrangements suitable for multi-storey buildings, through-the-wall outlets etc. will be found in the New Zealand Standard 7421 'Installation of Solid Fuel Burning Appliances'.

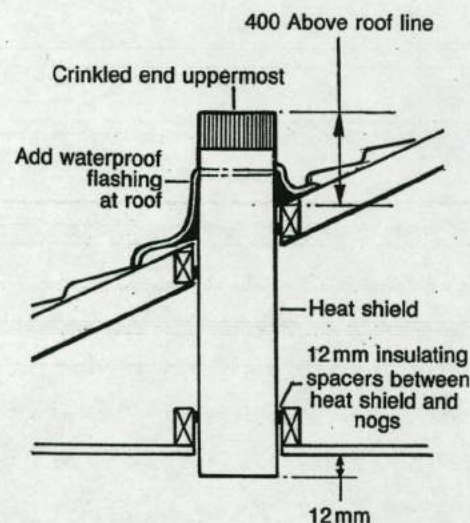
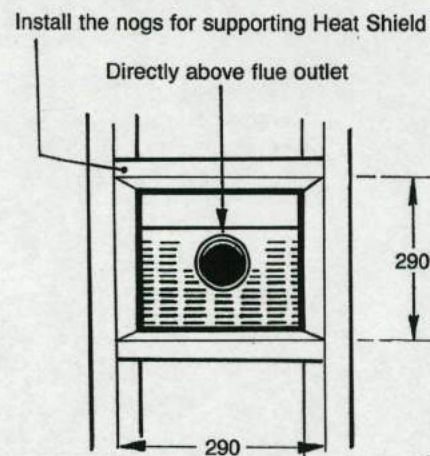
For conventional installations, follows these steps:

Step 1 Place the Fire in the selected position (see PLACEMENT page 5) and drop a plumb-bob from the ceiling to the centre of the flue flange to establish the point where the flue will pass through the ceiling. Before proceeding, check carefully that this centreline will not cause difficulties with ceiling joists, roof rafters etc.

Step 2 Cut a 290mm square hole through the ceiling on this centreline and nog this opening, forming a 290mm square frame to which the lower end of the Heat Shield will be fastened. If this opening is not the correct size and shape the Ceiling Plate may not cover the hole.



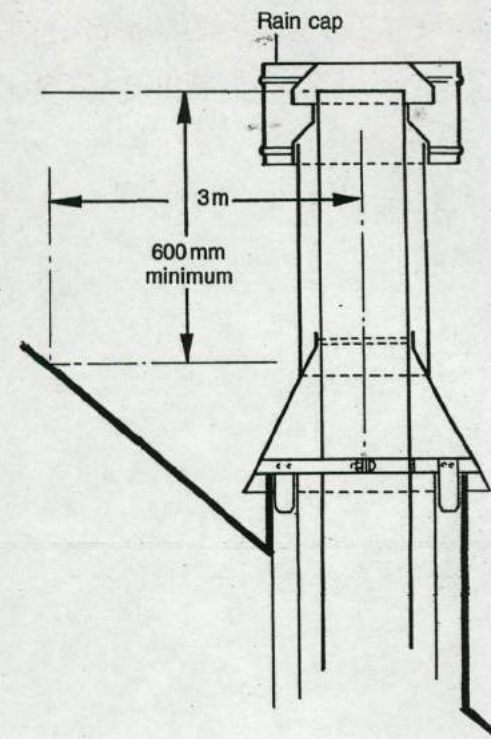
Step 3 On the same vertical centreline, cut a hole through the roof large enough to accept the Heat Shield and nail suitable nogs to the roof rafters to form an opening that is 290mm square (in plan) directly over the nogged ceiling opening. The Heat Shield should be secured by nailing or screwing it into the nogged openings. Attach it at the four tangent points (top and bottom), using 12mm thick insulating spacers between the Heat Shield and the nogs. The swaged (or crinkled) end of the Heat Shield should be at the top, and the bottom should be 12mm below the lower surface of the ceiling. Trim the bottom of the Heat Shield as necessary to match the angle of a sloping ceiling. If the Heat Shield is not long enough to protrude at least 400mm above the roof line (measured at the high side), extra lengths of Heat Shield can be added. It may be appropriate to shorten one length so that the joint between sections does not lie above the roof line. The Heat Shield should now be flashed to the roof to waterproof the joint.



Step 4 Place the Ceiling Plate (plastic coated side downwards) over the flue flange.

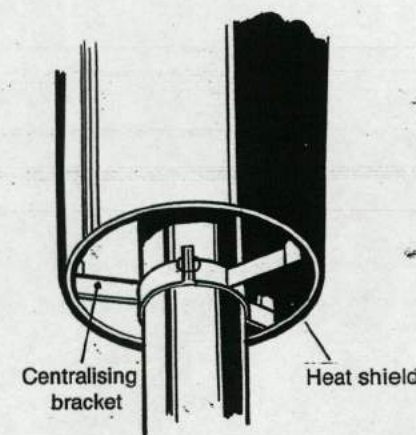
Step 5 Assemble the stainless Flue Section (swaged end down) to the top end of the swaged Enamelled Section (swaged end down). Keeping the stainless

section at the top, insert the assembly up through the Heat Shield. Fit the other Enamelled Section to the lower end of the Flue Assembly (keeping the end which has two holes at the bottom) and lower it into the Flue Flange. Check that the top of the Flue is at least 600mm above any part of the building or roof within 3 metres, (measured horizontally) adding extra Flue Lengths as needed. If there is any possibility of accidental separation of the flue sections, each joint should be secured with a self-tapping screw as the assembly progresses.



Step 6 Clamp the Centralising Bracket on the Flue (lugs facing upwards), so that the bottom of the Bracket is flush with the bottom of the Heat Shield. For sloping ceilings, the Bracket should be flush with the highest point of the bottom of the Heat Shield. Check that the Bracket can slide freely within the Shield to accommodate flue expansion, bending the arms of the Bracket slightly if necessary to achieve this.

Step 7 Check the length of the Baffle (or assembled Baffle sections in the case where more than one length of Heat Shield is needed). When placed on top of the Centralising Bracket and correctly positioned inside the lugs, its top should be level with the top of the Heat Shield. For sloping ceilings, the lower end of



the Baffle should be slotted to fit over the arms of the Centralising Bracket so that it can drop down to align with the bottom of the Heat Shield. Trim the Baffle if necessary.

Step 8 With the Baffle correctly positioned, clamp the Spider around the top Flue Section with the lugs facing downwards between the Baffle and the Heat Shield. Check that the Spider will be able to slide freely within the Heat Shield when the Flue expands and contracts vertically. Adjust the arms of the Spider if needed.

Step 9 Slide the Flashing Cone down over the Flue until it rests on the arms of the Spider.

Step 10 Lower the Weather Sleeve over the Flue until it is resting on the Flashing Cone and measure the height difference between the top of the Flue and the top of the Weather Sleeve. The Weather Sleeve should be between 40mm and 50mm below the Flue top. Add extra Weather Sleeve lengths (fastening any joints with three self-tapping screws or blind rivets) or trim the Flue or Weather Sleeve as appropriate. Note that when extending the Weather Sleeve the upper section fits outside the lower section at a joint, whereas joints in the Flue have the upper

section inside the lower one. Where extra Weather Sleeve lengths have been added, brace these with suitable wire stays.

Step 11 Fit the Rain Cap over the Flue and Weather Sleeve but do not fasten it in place. The Rain Cap should slide freely on the Flue but fit firmly on the Weather Sleeve.

Step 12 Back inside the room, slide the Ceiling Plate up to the ceiling and screw it in place using the ceramic spacers provided to keep it 12mm away from the ceiling. Take care to centralise the hole around the Flue.

Step 13 For safety in the event of an earthquake, fasten the Fire to the hearth through the two holes in the rear flange of the base, using not less than No. 12 steel woodscrews.

INSTALLING A WATER HEATING BOOSTER

Any PANORAMA Wood Fire can be fitted with a Booster Tube as all models have the mounting holes drilled and covered with removable plugs. It will be found simplest to fit the Tube before placing the Fire in position. Plumbing work must meet the requirements of NZS 4603:1976 unless local By-Laws dictate otherwise.

Pipe connections are 1" BSP and are 175 mm and 247 mm above the hearth level, the upper connection being the outlet returning hot water to the water cylinder.

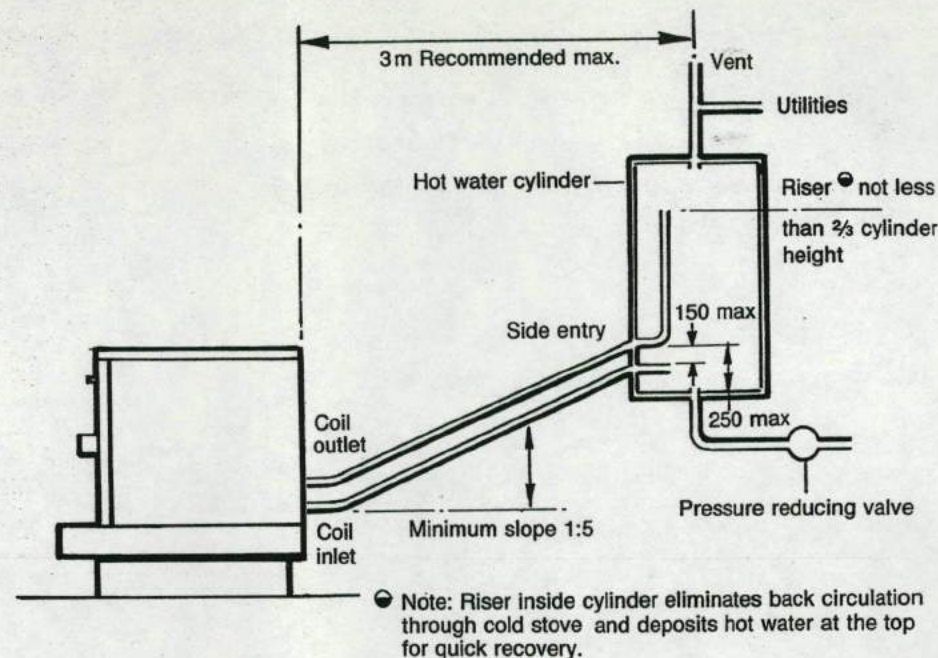
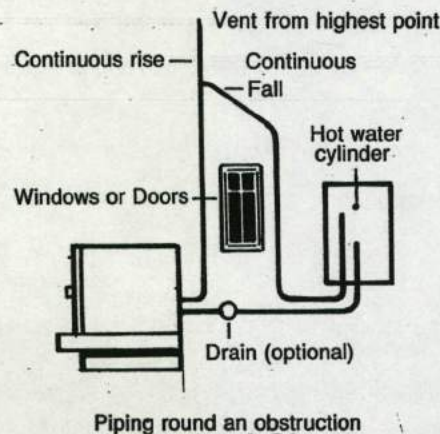
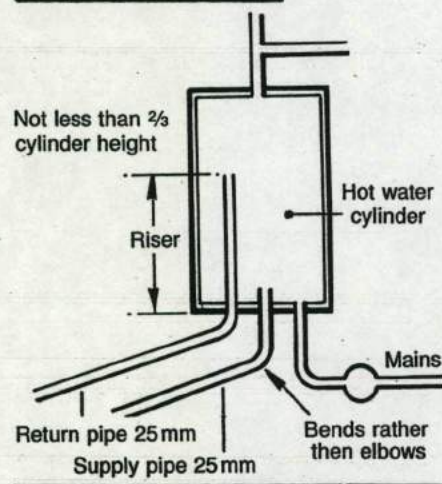
The piping methods recommended are designed to prevent circulation of hot water when the Wood Fire is not in use. An existing cylinder will need to be modified by adding an outlet connection near the bottom, and an inlet (with an internal riser) for the hot water returning from the booster.

Ideally, the following conditions should be fulfilled:

1. The bottom of the cylinder should be above the booster outlet on the Wood Fire. Some Electrical Authorities specify a minimum height difference.

A WOOD FIRE FITTED WITH A WATER HEATING BOOSTER MUST NOT BE FIRED UNLESS IT IS CONNECTED TO A CYLINDER FILLED WITH WATER FREE TO CIRCULATE.

Bottom entry to the cylinder



2. The cylinder should be within three metres of the booster. Greater distances will operate, but the water circulation rate will be reduced.
3. The further the Fire is from the cylinder, the greater should be the height difference between the two units. Ideally, the cylinder should be 200 mm above the booster for every metre it is away from the booster.
4. All pipe-work should be at least 25 mm diameter.
5. The pipes between the Fire and cylinder should be separated and lagged independently to minimise heat loss and maintain the temperature differential between them to encourage water flow.
6. The pipe carrying hot water back to the cylinder should not fall below the level of the top connection on the Fire. It should preferably rise continuously from the Fire to the cylinder, but if it must fall, a vent pipe must be fitted at the highest point to bleed off any accumulation of air. (see diagram).
7. Pipes should be kept as straight as possible, and bends, rather than elbows, should be used to minimise frictional loss.
8. A drain valve may be fitted in the low point of the system, but shut-off and non-return valves must not be fitted in the pipes between the Booster and the cylinder.

BUILDING APPLICATION FORM

Date 8-5- 1978To the Borough Inspector,
SIR,

I hereby apply for permission to carry out Building Work as described hereunder:

at 97 LINKS AVE. for B.R. & J.B. GRILL
(Owner)of _____ according to locality plan,
and detailed plans, elevations, cross sections and specifications of building deposited herewith, in
duplicate.Particulars of Land: Lot No. 51 D.P.S. 17273
Area 725 M² Val. Roll No. 677/677Type of Building and Description of Work CARPORT, ATTACHED TO HOUSE.Particulars of: Foundations CONC. 300x300mm Walls 3-HIGH 100x150 CONC BLOCKS
Roof IRON FULL LENGTH 100x50 FRAMING, COVERLINE,
Area of Ground Floor 27.95 M² Area of Outbuildings _____ M²

Proposed purpose for which every part of Building is to be Used or Occupied

CARPORT.Nature of soil on which building is to be placed SAND,

Estimated Value of completed:

Building \$ 2487.00.

Plumbing & Drainage \$ _____

TOTAL \$ 2487.00.IF VALUED AT \$20,000
OR MOREEstimated Date of Commencement: 1/1/Estimated Date of Completion: 1/1/

Building Projects Registration NO _____ Expires 19 _____

Builder B.R. GRILL Yours faithfully, B.R. GRILL (Owner)
Address 97 LINKS AVE.
MT. MAUNGANUI
Phone - 56 346.

OFFICE USE ONLY

PERMIT FEE:

REC. No.'s

Building	<u>2487</u>	\$ <u>12-00</u>	<u>7211</u>
Plumbing		\$ _____	
Drainage		\$ _____	
Building Research Levy		\$ _____	
Water Connection		\$ _____	
Kerb Crossing Deposit		\$ _____	
Vehicular Crossing		\$ _____	
TOTAL		\$ <u>12-00</u>	

Building Permit No. 117514

Plumbing Permit No. _____

Drainage Permit No. _____

Permit Authorised GW.Date 12.5.78

BUILDING PERMIT FEES

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable.

Estimated Value of Work				Fees		
				\$		c
Not exceeding	\$20					.50
Over	\$20	and not exceeding	\$200			1.00
"	\$200	"	\$400			2.00
"	\$400	"	\$600			3.00
"	\$600	"	\$800			4.00
"	\$800	"	\$1,000			5.00
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"	\$100,000	"	\$120,000			158.00
"	\$120,000	"	\$140,000			168.00
"	\$140,000	"	\$160,000			178.00
"	\$160,000	"	\$180,000			188.00
"	\$180,000	"	\$200,000			198.00
"	\$200,000	"	\$240,000			210.00
"	\$240,000	"	\$280,000			220.00

For every \$40,000 or part thereof in excess of \$280,000, an additional fee of \$10.

In any dispute the Engineer shall have the absolute determination of the value of such work.

A building research levy is payable at the rate of 50 cents per 1000 dollars on all buildings valued \$3,000 or more.

PLANS AND SPECIFICATIONS

Together with this application, there should be submitted to the Engineer in duplicate detailed plans, elevations, cross sections and specifications, which shall together furnish complete details of design and qualities and description of all material of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking.

SPECIFICATIONS FOR BUILDING PERMIT

Name B.R. & J.B. Grigg 97 LINKS AVE MT. MAUNGANUI

The matters set out herein do not purport to comprise the provisions of a contract.

FOUNDATIONS

Depth and Width of Footings 300 x 300 mm

Thickness of Foundation Walls

Height of Foundation Walls

Type and Spacing of Under Floor Ventilators

Depth and Thickness of Chimney Footings

Type of Damp Proof Course

Foundation Blocks 400 x 150 mmHeight from Floor to Ceiling 2.89 m

SCHEDULE OF TIMBER	Size of Timber	Type of Timber	Spacing of Joists, Studs, Rafters, Purlins
Bottom Plates	<u>100 x 50.</u>	<u>PINE</u>	
Sleeper Plates			
Jack Studs			
Floor Joists			
Flooring	<u>CONC.</u>		
Studs	<u>100 x 50.</u>	<u>PINE</u>	<u>460 mm</u>
Wall Bracing	<u>METAL ANGLE</u>		
Dwangs	<u>100 x 50.</u>	<u>PINE</u>	
Top Plates	<u>100 x 50.</u>	<u>"</u>	
Ceiling Joists			
Runners over Ceiling Joists	<u>100 x 50</u>		
Roof Struts			
Collar Ties			
Exterior Sheathing	<u>COVER LINE</u>		
Internal Lining	<u>N.A.</u>		
Architraves	<u>N.A.</u>		
Door and Window Facings	<u>Aluminium</u>		<u>7.1 m HIGH. 900 mm Wide</u>
Door (Height and Width)	<u>2.89 x 3.65</u>		
Trimmers over Doors and Windows	<u>250 x 50. (2)</u>	<u>PINE</u>	
Rafters	<u>Thuss 100 x 50</u>	<u>"</u>	<u>840 mm</u>
Purlins	<u>75 x 50</u>	<u>"</u>	<u>600 mm</u>
Ridge, Hip and Valley Boards			
Roofing	<u>Shon</u>		

Distance from Boundaries Front 6.71 Back 8.84 Side 2.5 1.67

Windows — Percentage of Floor Area

Drainage 2 SOAK HOLES EACH SIDESpouting Shon

Provision for Storage of Food

STUCCO ON TIMBER FRAME

Type of Backing

Mixture of Stucco

Thickness of Stucco

WALL VENEER:

Type and Size of Bricks

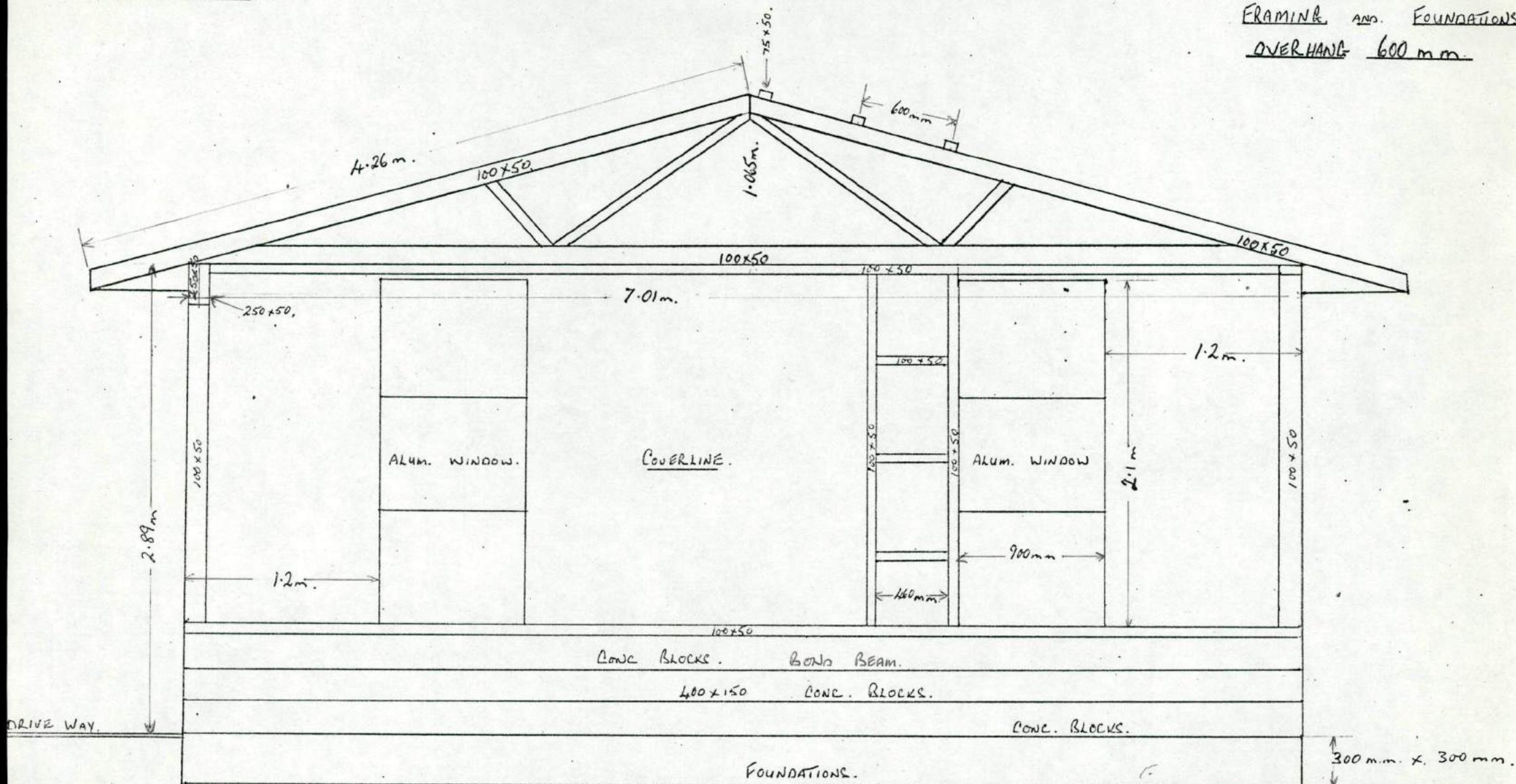
Air Space Between Timber & Veneer

Veneer Ties

Signature of Applicant B.R. Grigg

LINKS. AVE.

FRAMING AND FOUNDATIONS
OVERHANG 600 mm.



SOUTH ELEVATION.

DRIVE - WAY

HOUSE & GARAGE.

HOUSE. ROOF. LINE.

TRUSS

← 2 - 250 x 50. DOOR BEAMS.

DOOR. WAY.

816mm

TRUSS

TRUSS

TRUSS

WINDOW.

3.96

1400mm

WINDOW

TOP BLOCK BOLD BEAM.

TRUSS

WINDOW

600mm

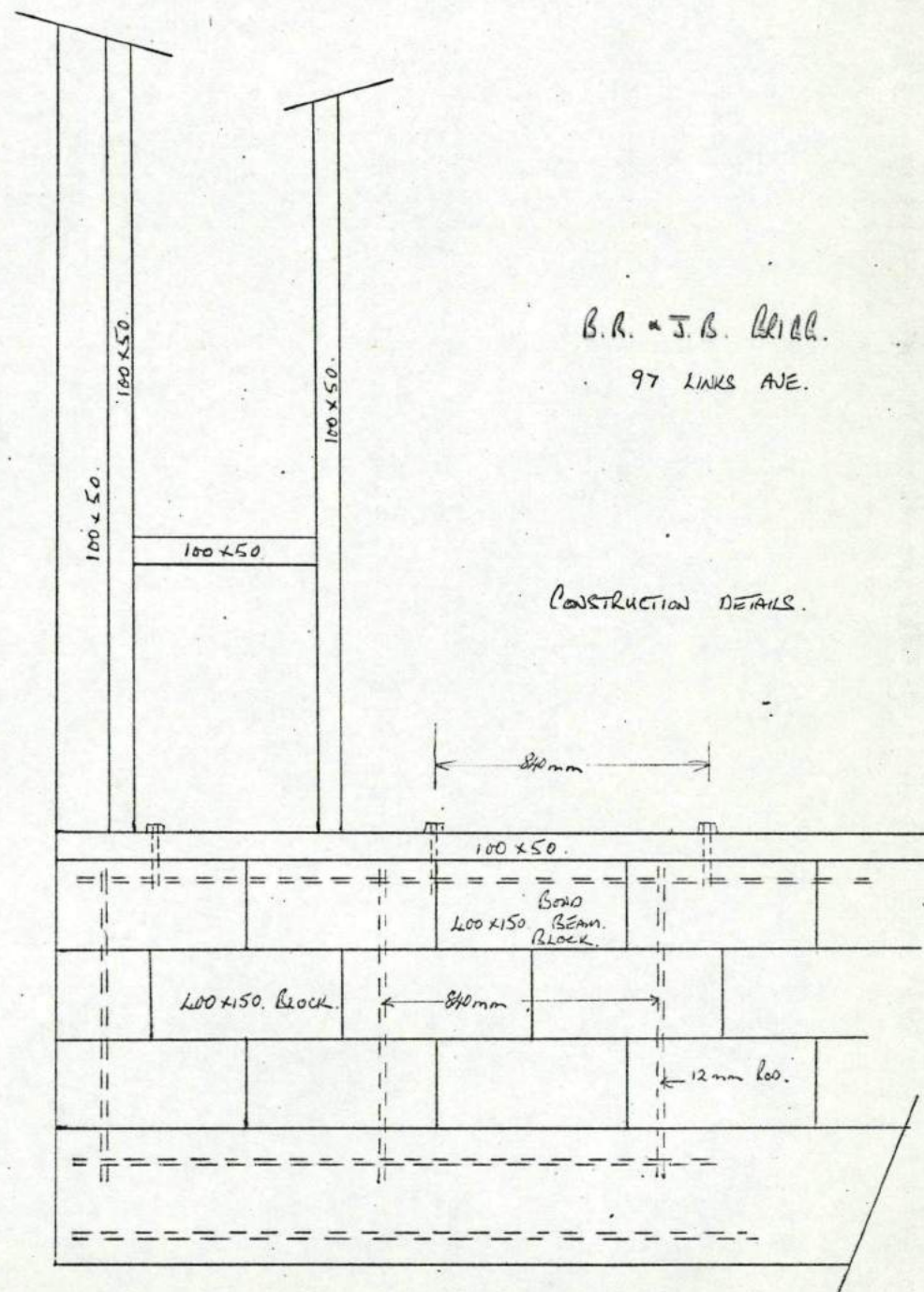
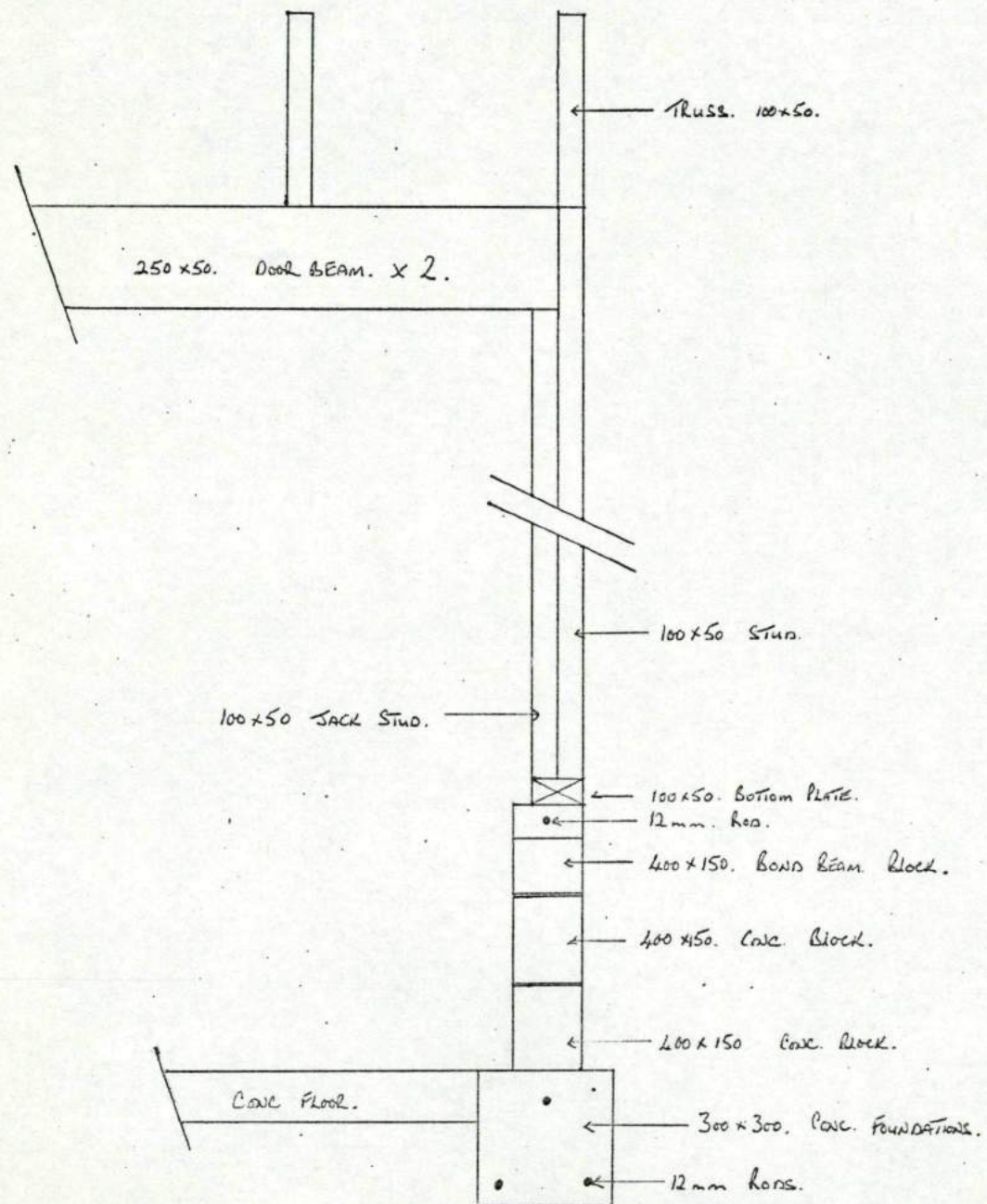
ROOF LINE.

7.01 m

N

B. R. & J. B. BRICK.

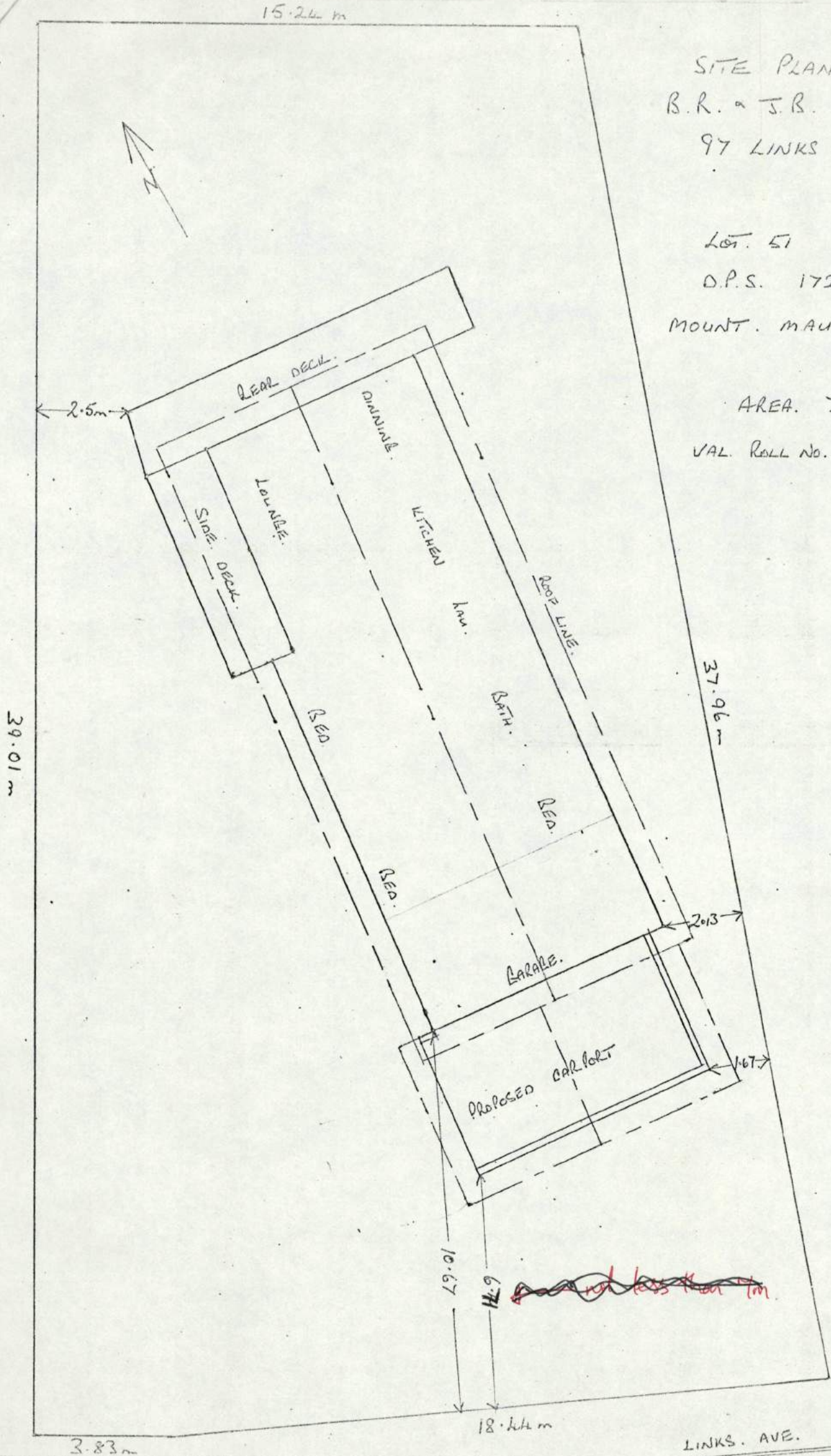
97 LINKS AVE



SITE PLAN
B.R. & J.B. CRIBB
97 LINKS AVE.

LOT 51
D.P.S. 17273.
MOUNT. MAUNGANUI

AREA. 725 m²
VAL. ROLL NO. 677/677



BUILDING APPLICATION FORM

Date 12/3/ 19 74To the Borough Inspector,
SIR,

I hereby apply for permission to carry out Building Work as described hereunder:

at Links Avenue for B.R. & J.B. GRIFF
18 West St (Owner)
 of Mount Maunganui according to locality plan,
 and detailed plans, elevations, cross sections and specifications of building deposited herewith, in
 duplicate.

Particulars of Land: Lot No. 51 D.P. 17273Town Section _____ Val. Roll No. 677/666Length of Boundaries 128'0" x 60'6" Area 725m²Type of Building and Description of Work Building Residential
HomeParticulars of: Foundations Concrete Piles Walls Fibroplank-Roof Gal. corrugated ironArea of Ground Floor 980 sq. ft. sq. feet. Area of Outbuildings _____ sq. feet.

Proposed purpose for which every part of Building is to be Used or Occupied _____

Dwelling

Nature of ground on which building is to be placed and of the subjacent strata _____

Estimated Value of completed:

Building \$ 11333 : 00Plumbing & Drainage \$ 1190 : 00TOTAL \$ 12523 : 00

IF VALUED AT \$20,000 Estimated Date of Commencement: Month _____ Year _____

OR MORE Estimated Date of Completion: Month _____ Year _____

Builder Beazley Homes Limited Yours faithfully,Address PRIVATE BAG Beazley Homes LimitedMt. Maunganui D.O. Danoghe (Owner)

OFFICE USE ONLY

PERMIT FEE:

REC. No.'s

Building	\$ <u>40.00</u>	<u>1879</u>
Plumbing	\$ <u>13.00</u>	<u>1878</u>
Drainage	\$	
Building Research Levy	\$ <u>6.50</u>	<u>1877</u>
Water Connection	\$ <u>20.00</u>	<u>1876</u>
Kerb Crossing Deposit	\$ <u>30.00</u>	<u>1875</u>
Vehicular Crossing	\$ <u>23.00</u>	<u>1874</u>
TOTAL	\$ <u>132.50</u>	

Building Permit No. 76353Plumbing Permit No. 3375

Drainage Permit No. _____

Permit Authorised MS WhiteDate 18.3.74

Account sent 18.3.74

BUILDING PERMIT FEES

Estimated value of work excluding any amount upon which drainage and plumbing fees are payable.

Estimated Value of Work

				Fees	
				\$	c
Not exceeding	\$2050
Over	\$20	and not exceeding	\$200		1.00
"	\$200	"	\$400		2.00
"	\$400	"	\$600		3.00
"	\$600	"	\$800		4.00
"	\$800	"	\$1,000		5.00
"	\$1,000	"	\$1,200		6.00
"	\$1,200	"	\$1,400		7.00
"	\$1,400	"	\$1,600		8.00
"	\$1,600	"	\$1,800		9.00
"	\$1,800	"	\$2,000		10.00
"	\$2,000	"	\$2,500		12.00
"	\$2,500	"	\$3,000		14.00
"	\$3,000	"	\$3,500		16.00
"	\$3,500	"	\$4,000		18.00
"	\$4,000	"	\$5,000		21.00
"	\$5,000	"	\$6,000		24.00
"	\$6,000	"	\$7,000		27.00
"	\$7,000	"	\$8,000		30.00
"	\$8,000	"	\$9,000		33.00
"	\$9,000	"	\$10,000		36.00
"	\$10,000	"	\$12,000		40.00
"	\$12,000	"	\$14,000		44.00
"	\$14,000	"	\$16,000		48.00
"	\$16,000	"	\$18,000		52.00
"	\$18,000	"	\$20,000		56.00
"	\$20,000	"	\$25,000		64.00
"	\$25,000	"	\$30,000		72.00
"	\$30,000	"	\$35,000		80.00
"	\$35,000	"	\$40,000		88.00
"	\$40,000	"	\$50,000		98.00
"	\$50,000	"	\$60,000		108.00
"	\$60,000	"	\$70,000		118.00
"	\$70,000	"	\$80,000		128.00
"	\$80,000	"	\$90,000		138.00
"	\$90,000	"	\$100,000		148.00
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BOROUGH OF MOUNT MAUNGANUI

(The Drainage and Plumbing Regulations, 1959)

Application for Permit for Sanitary Plumbing and Drainage Work (Including Stormwater)

To the Health Inspector,

Date 12/3/74

I hereby apply for permission to have the work described herein and set out on the back hereof carried out as follows:—

PLUMBER Name: <u>FOREST & NICHOLLS</u> Phone No. <u>54867</u> Postal Address: <u>Hull Rd, Mt. Maung.</u>		Name of Person for whom work is to be carried out: OWNER Name: <u>B. Grigg.</u> Phone No. <u>54993</u> Postal Address: <u>18 Ulster Str. Mt. Maung.</u>	
DRAINLAYER Name: <u>M.H. Bell & Sons Ltd.</u> Phone No. <u>53049</u> Postal Address: <u>Hewletts Rd, Mt. Maung.</u>		LOCATION Assessment No. _____ Lots No. <u>51</u> D.P. <u>17273</u> House No. <u>Links Ave</u> Road Street Avenue	

hereby apply for permission to carry out the work described herein and set out in the plans attached hereto,

SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT:

	W.C.'s	BATHS	SHOWER	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOT & COLD WATER SERVICES
INSTAL	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
RENEW										
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT:

Tick where applicable.

- Construct new drain together with septic tank and effluent disposal system.
- ~~Construct new drain and connect to sewer or other approved outfall.~~
- ~~Extend drain.~~
- ~~Repair drain.~~

<input checked="" type="checkbox"/>

Estimated Value \$ 1190-00 Fee Enclosed \$13-00

The fee payable as per schedule hereunder must accompany this application.

SCHEDULE OF FEES

	Estimated Value of Work				Fee Payable
Not exceeding	\$100				\$1.50
Exceeding	\$100 but not exceeding	\$200			\$3.00
"	\$200	"	"	"	\$4.00
"	\$400	"	"	"	\$6.00
"	\$600	"	"	"	\$8.00
"	\$800	"	"	"	\$10.00
"	\$1,000	"	"	"	\$12.00
"	\$1,000				\$12.00

Plus \$1 for every \$200 or part thereof in excess of \$1,000.

(For Office Record Only)

Application Approved _____ Inspector _____

19

Work Inspected and Passed _____ Inspector _____

19

Permit No. _____ Receipt No. _____

It clearly show position of drains, inspections, se

Scale 1/2" = 2ft.

Application for Permit for Sanitary Plumbing
and Drainage Work (Including Sewerwork)